



# WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held at the Civic Offices, Shute End, Wokingham, RG40 1BN on **WEDNESDAY 25 MAY 2016 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Andy Couldrick', written in a cursive style.

Andy Couldrick  
Chief Executive  
Published on 17 May 2016

This meeting will be filmed for inclusion on the Council's website.

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## **Our Vision**

***A great place to live, an even better place to do business***

### ***Our Priorities***

**Improve educational attainment and focus on every child achieving their potential**

**Invest in regenerating towns and villages, support social and economic prosperity, whilst encouraging business growth**

**Ensure strong sustainable communities that are vibrant and supported by well designed development**

**Tackle traffic congestion in specific areas of the Borough**

**Improve the customer experience when accessing Council services**

### ***The Underpinning Principles***

**Offer excellent value for your Council Tax**

**Provide affordable homes**

**Look after the vulnerable**

**Improve health, wellbeing and quality of life**

**Maintain and improve the waste collection, recycling and fuel efficiency**

**Deliver quality in all that we do**

## MEMBERSHIP OF THE PLANNING COMMITTEE

To be confirmed following Annual Council

ITEM NO.	WARD	SUBJECT	PAGE NO.
1.		<b>APOLOGIES</b> To receive any apologies for absence.	
2.		<b>MINUTES OF PREVIOUS MEETING</b> To confirm the Minutes of the Meeting held on 27 April 2016.	5 - 10
3.		<b>DECLARATION OF INTEREST</b> To receive any declaration of interest	
4.		<b>APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS</b> To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
5.	Hurst	<b>APPLICATION NO 160516, 160517, 160518 - HATCH GATE FARM, LINES ROAD, HURST</b> Recommendation: Conditional Approval.	11 - 52
6.	Emmbrook	<b>APPLICATION NO 160777 - THE EMMBROOK SCHOOL</b> Recommendation: Conditional Approval.	53 - 74
7.	Shinfield South	<b>APPLICATION NO 153435 - LAND AT THE MANOR, SHINFIELD</b> Recommendation: Conditional Approval.	75 - 98
8.	Wescott	<b>APPLICATION NO 160421 - ST CRISPIN'S SCHOOL</b> Recommendation: Conditional Approval.	99 - 140
9.	Evendons	<b>APPLICATION NO 160819 - 6 DERWENT CLOSE, WOKINGHAM, RG41 3UD</b> Recommendation: Conditional Approval.	141 - 150
10.		<b>PRE COMMITTEE SITE VISITS</b> To consider any recommendations from the Head of Development Management to hold pre-committee site visits, set out in Members' Update	

### **Any other items which the Chairman decides are urgent**

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

## **GLOSSARY OF TERMS**

The following abbreviations were used in the above Index and in reports.

<b>C/A</b>	Conditional Approval (grant planning permission)
<b>CIL</b>	Community Infrastructure Levy
<b>R</b>	Refuse (planning permission)
<b>LB</b>	(application for) Listed Building Consent
<b>S106</b>	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
<b>F</b>	(application for) Full Planning Permission
<b>MU</b>	Members' Update circulated at the meeting
<b>RM</b>	Reserved Matters not approved when Outline Permission previously granted
<b>VAR</b>	Variation of a condition/conditions attached to a previous approval
<b>PS</b>	Performance Statistic Code for the Planning Application
<b>Category</b>	

## **CONTACT OFFICER**

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**MINUTES OF A MEETING OF THE  
PLANNING COMMITTEE  
HELD ON 27 APRIL 2016 FROM 7.00 PM TO 9.00 PM**

**Committee Members Present**

Councillors: Simon Weeks (Chairman), Tim Holton (Vice-Chairman), Chris Bowring, John Kaiser, Bob Pitts, Malcolm Richards, Rachelle Shepherd-DuBey, Chris Singleton and Wayne Smith

**Other Councillors Present**

Councillors: Lindsay Ferris, Mike Haines and David Lee

**Officers Present**

Clare Lawrence, Head of Development Management and Regulatory Services  
Chris Easton, Service Manager, Highways Development Management  
Colm Ó Caomhánaigh, Democratic Services Officer

**Case Officers Present**

Daniel Ray and Nick Chancellor

**117. APOLOGIES**

There were no apologies for absence.

**118. MINUTES OF PREVIOUS MEETINGS**

The Minutes of the meeting of the Committee held on 15 March 2016 were confirmed as a correct record and signed by the Chairman.

The Minutes of the meeting of the Committee held on 30 March 2016 were confirmed as a correct record and signed by the Chairman.

**MEMBERS' UPDATE**

There are a number of references to the Members' Update within these minutes. The Members' Update was circulated to all present prior to the meeting. A copy is attached.

**119. DECLARATION OF INTEREST**

Councillor Tim Holton declared a personal interest in Item 125, application 153301 - Pavilion, Holme Park Sports Ground Sonning Lane Sonning, on the grounds that he was a friend of one of the speakers. (He left the meeting during consideration of the matter and did not take part in the vote).

**120. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS**

No applications had been recommended for deferral, or withdrawn.

**121. APPLICATION NO. 150664 - SITE D ELIZABETH ROAD, WOKINGHAM**

**Proposal:** Proposed erection of 2 x no. 3-bedroom dwellings with associated parking and landscaping, following the demolition of existing garage blocks.

**Applicant:** Wokingham Housing Limited, Shute End

The Committee received and reviewed a report about this application, set out in Agenda pages 15 to 36.

The Committee was advised that the Members' Update included:

- a proposed amendment to condition 3 (Plans);
- a proposed additional condition 14 (Hours of construction); and
- responses to queries about the Site Plan and outbuildings/garages.

It was noted that Members visited the site on Friday 22 April 2016.

Members asked about the route to be taken by construction traffic and whether traffic from other nearby developments was taken into account. Chris Easton, Service Manager, Highways Development Management, stated that construction traffic was dealt with under condition 8 and confirmed that other construction traffic was taken into account.

**RESOLVED:** That application No. 150664 be approved, subject to the conditions set out on Agenda pages 16 to 20 with condition 3 amended and an additional condition 14 as set out in the Members' Update.

## **122. APPLICATION NO. 153263 - PHASE 7, MONTAGUE PARK, SOUTH WOKINGHAM SDL**

**Proposal:** Reserved matters pursuant to outline planning permission O/2010/1712 as varied by VAR/2015/0342 for a development of up to 650 dwellings and associated infrastructure. The reserve matters comprise details of 100 dwellings and associated internal access road, footways, parking, landscaping, play area and allotments. Details of appearance, landscaping, layout and scale to be determined.

**Applicant:** David Wilson Homes

The Committee received and reviewed a report about this application, set out in Agenda pages 37 to 72.

The Committee was advised that the Members' Update included a proposed amendment to condition 2 (Plans) and a clarification on the number of unallocated parking spaces.

Councillor David Lee, representing Wokingham Town Council, spoke to the application. He thanked the applicants for their cooperation with the planning officers in dealing with points raised by the Town Council. He asked that the Town Council's suggestion on altering the number of allotments and parking spaces be taken into consideration.

Anna Gillings, Agent, spoke in favour of the application and confirmed that the applicant was happy to work with officers on the question of allotments and parking spaces.

Members asked when the nearby school would be opened and if it would be phased in year-by-year. Officers confirmed that the school was due to open in September 2016 and that it would be expanded year-by-year.

In response to questions relating to the density of units in this phase and in the overall scheme, the Planning Officer confirmed that there was no need to seek higher density in this phase and that there would be no difficulty in meeting the average density set out in the outline planning permission for the whole strategic site in the final reserved matters phase.

In response to questions about the provision of affordable housing, Clare Lawrence, Head of Development Management and Regulatory Services, stated that 8% of the affordable housing would be provided off-site and the related financial contribution for this has been secured at the normal financial rate.

Members expressed concern that it appeared that some three storey buildings faced open space. The Planning Officer stated that the buildings in question faced school playing fields and the ridge heights were below the limit set in the outline permission.

Asked about the reference in the report to internal space standards being generally met, the Planning Officer clarified that the national standards had changed since the outline permission was granted but the design met the Council's internal space standards that applied at the outline stage and when the details of the scheme were being negotiated with officers.

**RESOLVED:** That application No. 153263 be approved, subject to the conditions set out on Agenda pages 39 to 41 with condition 2 amended as set out in the Members' Update.

**123. APPLICATION NO. 153360 - LAND ADJACENT TO CARTEF FARM  
ISLANDSTONE LANE READING WOKINGHAM**

**Proposal:** Application to remove condition 1 of appeal planning consent F/2010/2695 to allow permanent occupation of the gypsy pitch on the site.

**Applicant:** Mr Henry Giles C/O Green Planning Studio Ltd, Shrewsbury

The Committee received and reviewed a report about this application, set out in Agenda pages 73 to 110.

The Committee was advised that the Members' Update included clarifications on the issues of land supply for GRT pitches and flood risk.

Councillor Howard Larkin, representing Hurst Parish Council, spoke to the application and stated that the flood risk - both on the site and on the access route - remained the primary risk.

Nathaniel Green, Agent, spoke in favour of the application and stated that the applicants were happy to comply with the proposed conditions.

Members asked about the flood risk to the access road and if flooding might prevent emergency services accessing the site if needed. Clare Lawrence, Head of Development Management and Regulatory Services, stated that the application had been examined by the Council's Flood Risk Manager and that if there was any problem with flooding it would have been identified.

**RESOLVED:** That application No. 153360 be approved, subject to the conditions set out on Agenda page 74.

**124. APPLICATION NO. 152344 - 80 HURST ROAD, TWYFORD**

**Proposal:** Full application for the erection of 2 semi-detached dwellings following demolition of existing dwelling.

**Applicant:** Mr Mark Belcher c/o Grange Farm, Nelsons Lane, Hurst

The Committee received and reviewed a report about this application, set out in Agenda pages 111 to 130.

The Committee was advised that the Members' Update included clarifications on flood risk and parking as well as a proposed Construction Management Plan condition.

Robin Bradbeer, Agent, spoke in favour of the application. He stated that the new dwellings harmonised better with other dwellings on the road and that there was no unreasonable loss of light for neighbours.

Lindsay Ferris, Local Ward Member, spoke to the application and asked that Members consider the impact of loss of light on the neighbour's whole house and not just the window facing the new building.

It was noted that Members visited the site on Friday 22 April 2016.

Members asked for clarification on the height of the proposed houses compared to the immediate neighbours. The Planning Officer stated that the height of the proposed dwellings was lower than No. 82 but higher than No. 80.

Tim Holton asked that conditions be added to deal with permitted hours of construction and to provide for hedgehog-friendly fences. The Planning Officer said that hedgehogs were not known to be common in the area but such fences could potentially be introduced.

**RESOLVED:** That application No. 152344 be approved, subject to the conditions set out on Agenda pages 111 to 115 with the additional condition as set out in the Members' Update and with the addition to the Construction Management Plan of limited hours of construction to be agreed by the Head of Development Management and Regulatory Services.

## **125. APPLICATION NO. 153301 - PAVILION, HOLME PARK SPORTS GROUND SONNING LANE SONNING**

*Councillor Tim Holton declared a personal interest and left the meeting after hearing the planning officer's report and did not take part in the vote.*

**Proposal:** Full application for amendment to planning permission F/2014/2196 to approved sports and physiotherapy clinic building, involving reorientation, redesign, improved landscaping and parking provision.

**Applicant:** Mr John Fisher, Holme Park Sports and Leisure

The Committee received and reviewed a report about this application, set out in Agenda pages 131 to 158.

Councillor Ian Runnells, representing Sonning Parish Council, spoke in objection to the application. He described the current proposal as a leap from the previous building and expressed concern that it amounted to urbanisation of the countryside.

David Beilby, owner of a neighbouring residential property, spoke in objection to the application and presented diagrams showing how the new location for the car park went

right across the back of his garden. He also raised that there was a covenant that had restricted him objecting to previous applications.

Tony Thorpe, Agent, spoke in favour of the application. He stated that there would be a 10m buffer between the car park and the boundary of the neighbour's property.

Mike Haines, Local Ward Member, spoke to the application and stated that he had no problem with the hyperbaric chamber treatment but it was proposed in the wrong location, Sonning being a conservation area.

Members asked about the size and height of the proposed building. The Chairman stated that the area and volume of the current proposal were slightly smaller than the previous application and the height was the same as the current building.

Responding to concerns about the safety of gases and equipment on the site, Clare Lawrence, Head of Development Management and Regulatory Services, said that it would be controlled by other legislation and that this is not a planning issue. Also, the covenant referred to by the neighbour is not a planning matter and the previous planning applications will have been determined on their planning merits.

Members asked about the car park and its potential effect on neighbours. The Planning Officer stated that the 10m buffer would involve a mix of mid and high level plants and the use of lighting would be controlled by condition 13.

**RESOLVED:** That application No. 153301 be approved, subject to the conditions set out on Agenda pages 131 to 134.

*Councillor Tim Holton rejoined the meeting after the vote on this item.*

## **126. QUARTERLY ENFORCEMENT MONITORING REPORT**

The Committee received and considered the Quarterly Enforcement Monitoring Report.

Clare Lawrence, Head of Development Management and Regulatory Services, added that there were delays waiting for the dates to be set for inquiries.

Rachelle Shepherd-DuBey welcomed the fact that the appeal on RFS/2013/00279 - 42 Danywern Drive, Winnersh had been dismissed.

**RESOLVED:** That the Quarterly Enforcement Monitoring Report be noted.

## **127. PRE COMMITTEE SITE VISITS**

The Head of Development Management and Regulatory Services had recommended that pre-Committee site visits be undertaken in respect of the following applications:

- 160421 - St Crispin's School, Wokingham – to assess the impact of the major development on the character of the surrounding area and highway network.
- 160419 - Land at The Old Rose Garden, Orchard Road, Hurst – to view the characteristics of the existing use/site and assess the impact of the development of the surrounding countryside.
- 160251 - The Old Pump House, Bath Road – to view the existing structures at the site in context and assess the impact of the proposed development on the surrounding countryside and Green Belt.

**RESOLVED:** That pre-Committee site visits be undertaken on Friday 20 May 2016 in respect of the following applications:

- 160421 - St Crispin's School, Wokingham – to assess the impact of the major development on the character of the surrounding area and highway network.
- 160419 - Land at The Old Rose Garden, Orchard Road, Hurst – to view the characteristics of the existing use/site and assess the impact of the development of the surrounding countryside.
- 160251 - The Old Pump House, Bath Road – to view the existing structures at the site in context and assess the impact of the proposed development on the surrounding countryside and Green Belt.

# Agenda Item 5.

<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Listed by:</b>
160516	13/13	Hurst	Hurst	Major

<b>Applicant</b>	Mr Belcher	<b>Postcode</b>	RG10 0SP
<b>Location</b>	Hatch Gate Farm, Lines Road, Hurst		
<b>Proposal</b>	Full application for the proposed erection of cattle shed no 2		
<b>Type</b>	Major development		
<b>PS Category</b>	6		
<b>Officer</b>	Graham Vaughan		

**FOR CONSIDERATION BY** Planning Committee on 25<sup>th</sup> May 2016  
**REPORT PREPARED BY** Head of Development Management and Regulatory Services

## SUMMARY

Previously, planning application F/2015/1235 was considered by the planning committee in September 2015. The application considered the formation of a cattle yard on Hatch Gate Farm and the erection of two buildings; a workshop/store and one cattle shed (numbered 1) as well as a perimeter wall around the yard. On the plans, the locations of three further cattle sheds (numbered 2, 3 and 4) were indicated but were not for consideration at the time. Subsequently, three applications have now been submitted for each of the remaining cattle sheds, reference 160516, 160517 and 160518. This means there would be a total of five new buildings on the site overall and currently, two have planning permission, and three do not. For information, neither of the approved buildings has been constructed at the time of this report. Although the plans for F/2015/1235 only indicated the location of cattle sheds 2, 3 and 4; the location of cattle shed 4 has been altered. This has meant the yard area (i.e. the part delineated by the wall) has also changed.

The application site is in designated countryside and is part of a larger farm located in Hurst. The site currently has some buildings used for storage of farm materials and is located at the end of the main group of farm buildings and adjacent to fields. Nonetheless, agricultural buildings in a rural area are considered to be acceptable in planning policy terms and therefore the proposal is acceptable in principle. Existing views towards the site are of agricultural buildings set against a tree lined backdrop and although the proposal would introduce built form in the countryside, it is considered this view would not be impacted upon in a significantly harmful way particularly due to additional landscaping. Subject to conditions, no harmful impacts are identified and therefore the application is recommended for approval.

## PLANNING STATUS

- Countryside
- Wind turbine safeguarding zone
- Sand and gravel extraction
- Groundwater protection zone
- Minerals consultation zone

## RECOMMENDATION

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to**

**the following:**

**A. Conditions and informatives:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*
2. This permission is in respect of the submitted application plans and drawings numbered 'Site Plan', 'Location Plan', 'Cattle yard fencing detail103/15/1', 'BPL-17/01 Rev D' and 'BPL-17/02 Rev B' received by the local planning authority on 24<sup>th</sup> February 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.  
*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*
3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be in accordance with the submitted details on 'proposed external materials - application refs: 160516, 160517 and 160518' unless agreed otherwise in writing with the Local Planning Authority. Development shall not be carried out other than in accordance with these details.  
*Reason: To ensure that the external appearance of the building is satisfactory.  
Relevant policy: Core Strategy policies CP1 and CP3*
4. The development hereby approved shall not be carried out unless in accordance with the submitted landscaping plan '103/landscaping/16/2' received by the local planning authority on 29<sup>th</sup> April 2016 unless agreed otherwise in writing with the Local Planning Authority. Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s).  
Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.  
*Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*
5. a) The development hereby approved shall not be carried out unless in accordance with the submitted 'scheme for the retention and protection of existing Oak Tree' (the Approved Scheme) unless agreed in writing by the local planning authority. The tree protection measures shall be implemented in complete accordance with the Approved Scheme for the duration of the development (including, unless otherwise provided by the Approved Scheme) demolition, all site preparation work, tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery.

b) No development (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

*To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

6. The development hereby approved shall not be carried out unless in accordance with the submitted 'Pond Enhancement Plan – AA Environmental, ref 153266 April 2016' and 'Figure 1 – Pond Plan' unless agreed otherwise in writing with the Local Planning Authority. The enhancements shall be installed in accordance with these details and thereafter maintained.

*Reason: To ensure a positive impact on local wildlife occurs. Relevant Policy: Core Strategy policy CP7.*

7. No development shall take place within the site until the applicant, or their agents or their successors in title, has secured and implemented a programme of archaeological work (which may comprise more than one phase of work) in accordance with the submitted written scheme of investigation (TVAS document revised 17/03/16 15e242ev) or an equivalent document, which has been submitted to and approved in writing by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

*Reason: To ensure that any archaeological remains within the site are adequately investigated and recorded or preserved in situ in the interest of protecting the archaeological heritage of the borough. Relevant policy: National Planning Policy Framework Section 12 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB25*

8. The development hereby approved shall not be carried out unless in accordance with the following submitted drainage details unless agreed in writing with the Local Planning Authority:

- STD.01.22 Rev A', 'STD.01.23 Rev A', 'STD.01.85 Rev A', 'STD.01.92', 'STD.01.22 Rev A', 'STD.01.105 Rev A', '27789.50 Rev A1', '27789.103 Rev

A1', '27789.50 Rev A', '27789.100 Rev A1', '27789.101 Rev A1', '27789.102 Rev A1' and 'Micro Drainage Calculations, Archibald Shaw Limited January 2016

- Email from Vince Carpenter dated 28<sup>th</sup> April 2016
- Letter from Peter Brett Associates dated 15<sup>th</sup> September 2015
- General arrangement showing balancing pond, Archibald Shaw, 27789 101/A1

The submitted details shall be implemented and thereafter maintained unless agreed in writing by the Local Planning Authority.

*Reason: To ensure the development would not have an adverse impact on flood risk for the surrounding area.*

9. The development hereby approved shall not be carried out unless in accordance with the submitted 'External Lighting Strategy – BPL-17/01 Rev D' unless agreed in writing with the Local Planning Authority. All external lighting shall be installed in accordance with these specifications and locations and shall be maintained thereafter in accordance with the strategy.

*Reason: To ensure impacts on a protected species are mitigated. Relevant policy: Core Strategy policy CP7*

10. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation. *To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

11. All site operatives involved in the removal of potential amphibian refugia or ground disturbance during construction shall be briefed with the submitted Tool-box talk document [Ecological Walk-over Survey, AA Environmental, 3<sup>rd</sup> September 2015] before commencing work.

*Reason: To ensure that great crested newts, a European Protected Species, are not adversely impacted upon as a result of the development. Relevant Policy: Core Strategy Policy CP7*

#### *Informatives*

1. Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
2. This permission relates solely to the building labelled cattle shed 2 on plan BPL-17/01 Rev D.

## PLANNING HISTORY

- SO/2015/1249 - Screening Opinion for an Environmental Impact Assessment for the erection of cattle shed and farm machinery store/cattle handling shed and formation of cattle yard determined on 20<sup>th</sup> May 2015. EIA not required.
- F/2015/1235 – Full application for the proposed formation of cattle yard and associated cattle sheds and farm workshop to be constructed in four phases conditionally approved on 18<sup>th</sup> September 2015
- 160517 - Full application for the proposed erection of cattle shed no 3 currently pending
- 160518 - Full application for the proposed erection of cattle shed no 4 currently pending
- Some further applications related to typical farm activities but not directly on the site

## CONSULTATION RESPONSES

Highways	No objection
Archaeology	No objection subject to condition (7)
Biodiversity	No objection subject to conditions (6, 9, 11)
Tree and Landscape	No objection subject to conditions (4, 5, 10)
Environmental Health	No objection
Drainage	No objection subject to conditions (8)
Waste Services	No comments received
Conservation	No objection
Hurst Parish Council	No objection
Local Members	No comments received

## REPRESENTATIONS

- None received

## APPLICANTS POINTS

- Demonstrated agricultural need for cattle provision
- Acceptable use in the countryside
- Accords with relevant criteria for cattle rearing
- Principle of cattle sheds already approved

## PLANNING POLICY

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP3</b>	General Principles for Development
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP11</b>	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping

	<b>CC04</b>	Sustainable Design and Construction
	<b>CC09</b>	Development and Flood Risk
	<b>CC10</b>	Sustainable Drainage
	<b>TB21</b>	Landscape Character
	<b>TB25</b>	Archaeology
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide

## **PLANNING ISSUES**

### Description of Development:

1. This application should be read in conjunction with applications also on the agenda (reference 160517 and 160518) and further to planning permission F/2015/1235 which granted permission for the formation of cattle yard and the erection of two buildings; a workshop/store and one cattle shed as well as a perimeter wall. This planning permission showed indicative locations of three further cattle sheds; however these were not for consideration at the time. This current application relates to one of those sheds: cattle shed number 2. The shed would be 30.5 metres in width and 36.6 metres in length with an eaves height of 4.9 metres and a ridge height of 7.8 metres. Also proposed is a change to the permitted perimeter wall to accommodate a new location of cattle shed 4 which would enlarge the cattle yard from what was previous approved. The wall would be 1.68 metres in height and would be for wildlife protection.

### Principle of Development:

2. The previous application F/2015/1235 considered that there was a recognisable need for the cattle sheds due to the business requirements of the applicant. This was in part due to Belcher Farms (the applicant) being required to move the cattle from another farm to Hatch Gate Farm and also the opportunity to replace existing cattle sheds with new, up-to-date sheds. Whilst the permission was only for two buildings, the plans indicated a further three cattle sheds would be required to give a sense of scale of the development. As such, there are now three new buildings proposed on the site however it is considered the principle of development has been established by the previous application F/2015/1235 and the subsequent applications for the cattle sheds are not considered to result in any changes from this.

### Environmental Impact Assessment:

3. The site and development have been subject to a screening opinion with regards to the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (reference SO/2015/1249). This found that the impact on the environment was not substantial and therefore an Environmental Impact Assessment was not required.

### Character of the Area:

4. The area is rural in character and appearance and particularly influenced by agricultural buildings and views to wooded areas. Surrounding the application

site, the land is flat and low hedge rows delineate fields. Although there are other land uses in the area, Hatch Gate Farm itself occupies a significant amount of land with the farm buildings approximately central in this.

5. The building proposed would be of a large size and occupy a large footprint. Nonetheless, it would be of an appearance typical of agricultural buildings and it is noted the size relates partly to the requirement of legislation on cattle herding. In addition, agricultural buildings are common in the area and in this respect additional buildings are not considered to have a harmful impact. However, criterion 2 of policy CP11 requires that proposals do not encroach on the countryside and it is acknowledged that due to their size and location, the buildings would create additional built form.
6. Weight should be given to the impact on the countryside as a result of the additional built form but this is considered to be outweighed partly by the benefits of ensuring an agricultural use remains on the site and the economic benefits this would bring but also as it would be in keeping with the character of the area. Indeed some buildings already existing on the site and a large area is covered in hard standing. Additionally, mitigation of the impact of the proposal would be provided through landscaping which over time would help it integrate into the landscape. Overall therefore, this is not considered sufficiently harmful to warrant refusing the application.

#### Landscape and Trees:

7. The only significant tree that could be potentially impacted is an oak tree to the west of the site. However it is considered that suitable tree protection methods could be provided and secured through a condition (5) to safeguard the tree.
8. In terms of the wider landscape, the current views into and around the site are of agricultural buildings set against a wooded background. Hedgerows at the edge of roads prevent many long range views and the farm buildings themselves are set a significant distance from the road. Within the site, it is acknowledged that views from dwellings are possible however this tends to be from first floor windows only. Given that the proposal would introduce further agricultural buildings in an area which already has such buildings, no significant harm is considered to occur. Notwithstanding this, through agreeing landscaping details for the previous application, it has also been agreed that the row of planting would be triple rather than double. As such, the Tree and Landscape Officer is satisfied that the proposal would not have a detrimental impact on the landscape character of the area subject to conditions 4 and 10.

#### Residential Amenities:

9. Due to the significant separation distances to any neighbouring properties (approximately 50 metres to the nearest property which is on but not associated with the farm), no harmful impact on residential amenity is considered to occur.

#### Heritage Assets:

10. Old Hatch Gate Farm Cottages are a Grade II listed building (and the nearest residential property to the site). Whilst the built footprint of the farm would be

increased, the cottages are considered to be of a sufficient distance away to mitigate any harmful impact on the setting of the listed building. As such, the Conservation Officer does not object to the proposal.

#### Highways and Access:

11. Access to the farm is achieved from three different points with the main being from Lines Road however the proposal would not alter any of these. Similarly, the farm already has vehicle movements and parking associated with typical farm activities and the addition of the cattle yard is not considered to increase the pressure for parking on the site or traffic movements. As such, the Highways Officer does not object to the proposal.

#### Flooding and Drainage:

12. An initial assessment of the site regarding drainage has been submitted detailing how surface water drainage would be impacted. Whilst it is acknowledged the roof form of the buildings would be large and therefore would increase run-off, it is proposed to discharge this into an existing pond subject to viable capacity or if not, into a new pond. This is considered to be an acceptable solution for all the proposed buildings given that the site is in an area of very low risk from surface water flooding. Further details have been agreed as a result of the previous application and therefore it is considered necessary to condition that the drainage scheme is carried out in accordance with these details (condition 8).

#### Environmental Health:

13. The site is a working farm and the proposal would be an extension of this. In this respect there is already an impact in terms of environmental health. In any case, the Environmental Health Officer is satisfied that the separation distance to nearby properties would mean no harmful impact would occur.

#### Biodiversity:

14. Due to the proximity to ponds and the prevalence of Great Crested Newts (GCN) in the area, a survey of these ponds has been submitted. The survey concludes that GCN are unlikely to be present. Whilst the Council's ecology officer accepts this, given the extent of the work proposed, a condition (11) requiring site operatives to be made aware of GCN is considered necessary.

15. The site is also in close proximity to a known bat roost and therefore there is potential for the proposal to impact negatively on local bat populations through additional artificial light. A lighting scheme has been submitted and agreed in relation to the previous application F/2015/1235. The scheme accounts for the additional buildings and therefore the current application is considered acceptable subject to a condition requiring this scheme to be carried out (condition 9).

16. Additionally, any landscaping (i.e. standard hedging) or ponds for surface water run-off that may be provided could also utilise wildlife enhancement methods which would be a positive impact. The precise details of this have again been agreed through the previous application and therefore it is considered acceptable

to condition that this application is carried out in the same manner (condition 6).

Community Infrastructure Levy:

17. As the proposal is not for new residential or retail floor space, the proposal is not CIL liable.

Employment Opportunities:

18. Whilst the proposal is a major application and Policy TB12 of the MDD states these should be accompanied by an Employment and Skills Plan, the opportunities provided by the scheme are considered to be limited and not of a type that would suit an employment skills plan. As such, it is considered there is no harm in not requiring a plan to be submitted.

Archaeological Impact:

19. Due to the archaeological potential of the site and surrounding area, Berkshire Archaeology has requested a condition (7) for a written scheme of investigation to be submitted. This has been carried out for the previous application and therefore a condition relating to this application is considered appropriate.

**CONCLUSION**

The proposal is for an acceptable use in the countryside and no significantly harmful impact on the character of the area would occur. Subject to appropriate conditions, it is considered no harmful impact would occur in terms of highways, ecology or trees or the wider landscape. Furthermore, the site is located a sufficient distance from residential properties in order to not have a harmful impact on residential amenity. As such, the proposal accords with the development plan and is recommended for approval.

**CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Listed by:</b>
160517	13/13	Hurst	Hurst	Major

<b>Applicant</b>	Mr Belcher	
<b>Location</b>	Hatch Gate Farm, Lines Road, Hurst	<b>Postcode</b> RG10 0SP
<b>Proposal</b>	Full application for the proposed erection of cattle shed no 3	
<b>Type</b>	Major development	
<b>PS Category</b>	6	
<b>Officer</b>	Graham Vaughan	

**FOR CONSIDERATION BY** Planning Committee on 25<sup>th</sup> May 2016  
**REPORT PREPARED BY** Head of Development Management and Regulatory Services

**SUMMARY**

Previously, planning application F/2015/1235 was considered by the planning committee in September 2015. The application considered the formation of a cattle yard on Hatch Gate Farm and the erection of two buildings; a workshop/store and one cattle shed (numbered 1) as well as a perimeter wall around the yard. On the plans, the locations of three further cattle sheds (numbered 2, 3 and 4) were indicated but were not for consideration at the time. Subsequently, three applications have now been submitted for each of the remaining cattle sheds, reference 160516, 160517 and 160518. This means there would be a total of five new buildings on the site overall and currently, two have planning permission, and three do not. For information, neither of the approved buildings has been constructed at the time of this report. Although the plans for F/2015/1235 only indicated the location of cattle sheds 2, 3 and 4; the location of cattle shed 4 has been altered. This has meant the yard area (i.e. the part delineated by the wall) has also changed.

The application site is in designated countryside and is part of a larger farm located in Hurst. The site currently has some buildings used for storage of farm materials and is located at the end of the main group of farm buildings and adjacent to fields. Nonetheless, agricultural buildings in a rural area are considered to be acceptable in planning policy terms and therefore the proposal is acceptable in principle. Existing views towards the site are of agricultural buildings set against a tree lined backdrop and although the proposal would introduce built form in the countryside, it is considered this view would not be impacted upon in a significantly harmful way particularly due to additional landscaping. Subject to conditions, no harmful impacts are identified and therefore the application is recommended for approval.

**PLANNING STATUS**

- Countryside
- Wind turbine safeguarding zone
- Sand and gravel extraction
- Groundwater protection zone
- Minerals consultation zone

**RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to**

**the following:**

**A. Conditions and informatives:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*
2. This permission is in respect of the submitted application plans and drawings numbered 'Site Plan', 'Location Plan', 'Cattle yard fencing detail103/15/1', 'BPL-17/01 Rev D' and 'BPL-17/02 Rev B' received by the local planning authority on 24<sup>th</sup> February 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.  
*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*
3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be in accordance with the submitted details on 'proposed external materials - application refs: 160516, 160517 and 160518' unless agreed otherwise in writing with the Local Planning Authority. Development shall not be carried out other than in accordance with these details.  
*Reason: To ensure that the external appearance of the building is satisfactory.  
Relevant policy: Core Strategy policies CP1 and CP3*
4. The development hereby approved shall not be carried out unless in accordance with the submitted landscaping plan '103/landscaping/16/2' received by the local planning authority on 29<sup>th</sup> April 2016 unless agreed otherwise in writing with the Local Planning Authority. Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s).  
Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.  
*Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*
5. a) The development hereby approved shall not be carried out unless in accordance with the submitted 'scheme for the retention and protection of existing Oak Tree' (the Approved Scheme) unless agreed in writing by the local planning authority. The tree protection measures shall be implemented in complete accordance with the Approved Scheme for the duration of the development (including, unless otherwise provided by the Approved Scheme) demolition, all site preparation work, tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery.

b) No development (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

*To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

6. The development hereby approved shall not be carried out unless in accordance with the submitted 'Pond Enhancement Plan – AA Environmental, ref 153266 April 2016' and 'Figure 1 – Pond Plan' unless agreed otherwise in writing with the Local Planning Authority. The enhancements shall be installed in accordance with these details and thereafter maintained.

*Reason: To ensure a positive impact on local wildlife occurs. Relevant Policy: Core Strategy policy CP7.*

7. No development shall take place within the site until the applicant, or their agents or their successors in title, has secured and implemented a programme of archaeological work (which may comprise more than one phase of work) in accordance with the submitted written scheme of investigation (TVAS document revised 17/03/16 15e242ev) or an equivalent document, which has been submitted to and approved in writing by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

*Reason: To ensure that any archaeological remains within the site are adequately investigated and recorded or preserved in situ in the interest of protecting the archaeological heritage of the borough. Relevant policy: National Planning Policy Framework Section 12 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB25*

8. The development hereby approved shall not be carried out unless in accordance with the following submitted drainage details unless agreed in writing with the Local Planning Authority:

- STD.01.22 Rev A', 'STD.01.23 Rev A', 'STD.01.85 Rev A', 'STD.01.92', 'STD.01.22 Rev A', 'STD.01.105 Rev A', '27789.50 Rev A1', '27789.103 Rev

A1', '27789.50 Rev A', '27789.100 Rev A1', '27789.101 Rev A1', '27789.102 Rev A1' and 'Micro Drainage Calculations, Archibald Shaw Limited January 2016

- Email from Vince Carpenter dated 28<sup>th</sup> April 2016
- Letter from Peter Brett Associates dated 15<sup>th</sup> September 2015
- General arrangement showing balancing pond, Archibald Shaw, 27789 101/A1

The submitted details shall be implemented and thereafter maintained unless agreed in writing by the Local Planning Authority.

*Reason: To ensure the development would not have an adverse impact on flood risk for the surrounding area.*

9. The development hereby approved shall not be carried out unless in accordance with the submitted 'External Lighting Strategy – BPL-17/01 Rev D' unless agreed in writing with the Local Planning Authority. All external lighting shall be installed in accordance with these specifications and locations and shall be maintained thereafter in accordance with the strategy.

*Reason: To ensure impacts on a protected species are mitigated. Relevant policy: Core Strategy policy CP7*

10. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation. *To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

11. All site operatives involved in the removal of potential amphibian refugia or ground disturbance during construction shall be briefed with the submitted Tool-box talk document [Ecological Walk-over Survey, AA Environmental, 3<sup>rd</sup> September 2015] before commencing work.

*Reason: To ensure that great crested newts, a European Protected Species, are not adversely impacted upon as a result of the development. Relevant Policy: Core Strategy Policy CP7*

#### *Informatives*

1. Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
2. This permission relates solely to the building labelled cattle shed 3 on plan BPL-17/01 Rev D.

**PLANNING HISTORY**

- SO/2015/1249 - Screening Opinion for an Environmental Impact Assessment for the erection of cattle shed and farm machinery store/cattle handling shed and formation of cattle yard determined on 20<sup>th</sup> May 2015. EIA not required.
- F/2015/1235 – Full application for the proposed formation of cattle yard and associated cattle sheds and farm workshop to be constructed in four phases conditionally approved on 18<sup>th</sup> September 2015
- 160516 - Full application for the proposed erection of cattle shed no 2 currently pending
- 160518 - Full application for the proposed erection of cattle shed no 4 currently pending
- Some further applications related to typical farm activities but not directly on the site

**CONSULTATION RESPONSES**

Highways	No objection
Archaeology	No objection subject to condition (7)
Biodiversity	No objection subject to conditions (6, 9, 11)
Tree and Landscape	No objection subject to conditions (4, 5, 10)
Environmental Health	No objection
Drainage	No objection subject to conditions (8)
Waste Services	No comments received
Conservation	No objection
Hurst Parish Council	No objection
Local Members	No comments received

**REPRESENTATIONS**

- None received

**APPLICANTS POINTS**

- Demonstrated agricultural need for cattle provision
- Acceptable use in the countryside
- Accords with relevant criteria for cattle rearing
- Principle of cattle sheds already approved

**PLANNING POLICY**

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP3</b>	General Principles for Development
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP11</b>	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping

	<b>CC04</b>	Sustainable Design and Construction
	<b>CC09</b>	Development and Flood Risk
	<b>CC10</b>	Sustainable Drainage
	<b>TB21</b>	Landscape Character
	<b>TB25</b>	Archaeology
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide

## **PLANNING ISSUES**

### Description of Development:

1. This application should be read in conjunction with applications also on the agenda (reference 160516 and 160518) and further to planning permission F/2015/1235 which granted permission for the formation of cattle yard and the erection of two buildings; a workshop/store and one cattle shed as well as a perimeter wall. This planning permission showed indicative locations of three further cattle sheds; however these were not for consideration at the time. This current application relates to one of those sheds: cattle shed number 3. The shed would be 30.5 metres in width and 36.6 metres in length with an eaves height of 4.9 metres and a ridge height of 7.8 metres. Also proposed is a change to the permitted perimeter wall to accommodate a new location of cattle shed 4 which would enlarge the cattle yard from what was previous approved. The wall would be 1.68 metres in height and would be for wildlife protection.

### Principle of Development:

2. The previous application F/2015/1235 considered that there was a recognisable need for the cattle sheds due to the business requirements of the applicant. This was in part due to Belcher Farms (the applicant) being required to move the cattle from another farm to Hatch Gate Farm and also the opportunity to replace existing cattle sheds with new, up-to-date sheds. Whilst the permission was only for two buildings, the plans indicated a further three cattle sheds would be required to give a sense of scale of the development. As such, there are now three new buildings proposed on the site however it is considered the principle of development has been established by the previous application F/2015/1235 and the subsequent applications for the cattle sheds are not considered to result in any changes from this.

### Environmental Impact Assessment:

3. The site and development have been subject to a screening opinion with regards to the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (reference SO/2015/1249). This found that the impact on the environment was not substantial and therefore an Environmental Impact Assessment was not required.

### Character of the Area:

4. The area is rural in character and appearance and particularly influenced by agricultural buildings and views to wooded areas. Surrounding the application

site, the land is flat and low hedge rows delineate fields. Although there are other land uses in the area, Hatch Gate Farm itself occupies a significant amount of land with the farm buildings approximately central in this.

5. The building proposed would be of a large size and occupy a large footprint. Nonetheless, it would be of an appearance typical of agricultural buildings and it is noted the size relates partly to the requirement of legislation on cattle herding. In addition, agricultural buildings are common in the area and in this respect additional buildings are not considered to have a harmful impact. However, criterion 2 of policy CP11 requires that proposals do not encroach on the countryside and it is acknowledged that due to their size and location, the buildings would create additional built form.
6. Weight should be given to the impact on the countryside as a result of the additional built form but this is considered to be outweighed partly by the benefits of ensuring an agricultural use remains on the site and the economic benefits this would bring but also as it would be in keeping with the character of the area. Indeed some buildings already existing on the site and a large area is covered in hard standing. Additionally, mitigation of the impact of the proposal would be provided through landscaping which over time would help it integrate into the landscape. Overall therefore, this is not considered sufficiently harmful to warrant refusing the application.

#### Landscape and Trees:

7. The only significant tree that could be potentially impacted is an oak tree to the west of the site. However it is considered that suitable tree protection methods could be provided and secured through a condition (5) to safeguard the tree.
8. In terms of the wider landscape, the current views into and around the site are of agricultural buildings set against a wooded background. Hedgerows at the edge of roads prevent many long range views and the farm buildings themselves are set a significant distance from the road. Within the site, it is acknowledged that views from dwellings are possible however this tends to be from first floor windows only. Given that the proposal would introduce further agricultural buildings in an area which already has such buildings, no significant harm is considered to occur. Notwithstanding this, through agreeing landscaping details for the previous application, it has also been agreed that the row of planting would be triple rather than double. As such, the Tree and Landscape Officer is satisfied that the proposal would not have a detrimental impact on the landscape character of the area subject to conditions 4 and 10.

#### Residential Amenities:

9. Due to the significant separation distances to any neighbouring properties (approximately 50 metres to the nearest property which is on but not associated with the farm), no harmful impact on residential amenity is considered to occur.

#### Heritage Assets:

10. Old Hatch Gate Farm Cottages are a Grade II listed building (and the nearest residential property to the site). Whilst the built footprint of the farm would be

increased, the cottages are considered to be of a sufficient distance away to mitigate any harmful impact on the setting of the listed building. As such, the Conservation Officer does not object to the proposal.

#### Highways and Access:

11. Access to the farm is achieved from three different points with the main being from Lines Road however the proposal would not alter any of these. Similarly, the farm already has vehicle movements and parking associated with typical farm activities and the addition of the cattle yard is not considered to increase the pressure for parking on the site or traffic movements. As such, the Highways Officer does not object to the proposal.

#### Flooding and Drainage:

12. An initial assessment of the site regarding drainage has been submitted detailing how surface water drainage would be impacted. Whilst it is acknowledged the roof form of the buildings would be large and therefore would increase run-off, it is proposed to discharge this into an existing pond subject to viable capacity or if not, into a new pond. This is considered to be an acceptable solution for all the proposed buildings given that the site is in an area of very low risk from surface water flooding. Further details have been agreed as a result of the previous application and therefore it is considered necessary to condition that the drainage scheme is carried out in accordance with these details (condition 8).

#### Environmental Health:

13. The site is a working farm and the proposal would be an extension of this. In this respect there is already an impact in terms of environmental health. In any case, the Environmental Health Officer is satisfied that the separation distance to nearby properties would mean no harmful impact would occur.

#### Biodiversity:

14. Due to the proximity to ponds and the prevalence of Great Crested Newts (GCN) in the area, a survey of these ponds has been submitted. The survey concludes that GCN are unlikely to be present. Whilst the Council's ecology officer accepts this, given the extent of the work proposed, a condition (11) requiring site operatives to be made aware of GCN is considered necessary.

15. The site is also in close proximity to a known bat roost and therefore there is potential for the proposal to impact negatively on local bat populations through additional artificial light. A lighting scheme has been submitted and agreed in relation to the previous application F/2015/1235. The scheme accounts for the additional buildings and therefore the current application is considered acceptable subject to a condition requiring this scheme to be carried out (condition 9).

16. Additionally, any landscaping (i.e. standard hedging) or ponds for surface water run-off that may be provided could also utilise wildlife enhancement methods which would be a positive impact. The precise details of this have again been agreed through the previous application and therefore it is considered acceptable

to condition that this application is carried out in the same manner (condition 6).

Community Infrastructure Levy:

17. As the proposal is not for new residential or retail floor space, the proposal is not CIL liable.

Employment Opportunities:

18. Whilst the proposal is a major application and Policy TB12 of the MDD states these should be accompanied by an Employment and Skills Plan, the opportunities provided by the scheme are considered to be limited and not of a type that would suit an employment skills plan. As such, it is considered there is no harm in not requiring a plan to be submitted.

Archaeological Impact:

19. Due to the archaeological potential of the site and surrounding area, Berkshire Archaeology has requested a condition (7) for a written scheme of investigation to be submitted. This has been carried out for the previous application and therefore a condition relating to this application is considered appropriate.

**CONCLUSION**

The proposal is for an acceptable use in the countryside and no significantly harmful impact on the character of the area would occur. Subject to appropriate conditions, it is considered no harmful impact would occur in terms of highways, ecology or trees or the wider landscape. Furthermore, the site is located a sufficient distance from residential properties in order to not have a harmful impact on residential amenity. As such, the proposal accords with the development plan and is recommended for approval.

**CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Listed by:</b>
160518	13/13	Hurst	Hurst	Major

<b>Applicant</b>	Mr Belcher	
<b>Location</b>	Hatch Gate Farm, Lines Road, Hurst	<b>Postcode</b> RG10 0SP
<b>Proposal</b>	Full application for the proposed erection of cattle shed no 4	
<b>Type</b>	Major development	
<b>PS Category</b>	6	
<b>Officer</b>	Graham Vaughan	

**FOR CONSIDERATION BY** Planning Committee on 25<sup>th</sup> May 2016  
**REPORT PREPARED BY** Head of Development Management and Regulatory Services

**SUMMARY**

Previously, planning application F/2015/1235 was considered by the planning committee in September 2015. The application considered the formation of a cattle yard on Hatch Gate Farm and the erection of two buildings; a workshop/store and one cattle shed (numbered 1) as well as a perimeter wall around the yard. On the plans, the locations of three further cattle sheds (numbered 2, 3 and 4) were indicated but were not for consideration at the time. Subsequently, three applications have now been submitted for each of the remaining cattle sheds, reference 160516, 160517 and 160518. This means there would be a total of five new buildings on the site overall and currently, two have planning permission, and three do not. For information, neither of the approved buildings has been constructed at the time of this report. Although the plans for F/2015/1235 only indicated the location of cattle sheds 2, 3 and 4; the location of cattle shed 4 has been altered. This has meant the yard area (i.e. the part delineated by the wall) has also changed.

The application site is in designated countryside and is part of a larger farm located in Hurst. The site currently has some buildings used for storage of farm materials and is located at the end of the main group of farm buildings and adjacent to fields. Nonetheless, agricultural buildings in a rural area are considered to be acceptable in planning policy terms and therefore the proposal is acceptable in principle. Existing views towards the site are of agricultural buildings set against a tree lined backdrop and although the proposal would introduce built form in the countryside, it is considered this view would not be impacted upon in a significantly harmful way particularly due to additional landscaping. Subject to conditions, no harmful impacts are identified and therefore the application is recommended for approval.

**PLANNING STATUS**

- Countryside
- Wind turbine safeguarding zone
- Sand and gravel extraction
- Groundwater protection zone
- Minerals consultation zone

**RECOMMENDATION**

**That the committee authorise the GRANT OF PLANNING PERMISSION subject to**

**the following:**

**A. Conditions and informatives:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*
2. This permission is in respect of the submitted application plans and drawings numbered 'Site Plan', 'Location Plan', 'Cattle yard fencing detail103/15/1', 'BPL-17/01 Rev D' and 'BPL-17/02 Rev B' received by the local planning authority on 24<sup>th</sup> February 2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.  
*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*
3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be in accordance with the submitted details on 'proposed external materials - application refs: 160516, 160517 and 160518' unless agreed otherwise in writing with the Local Planning Authority. Development shall not be carried out other than in accordance with these details.  
*Reason: To ensure that the external appearance of the building is satisfactory.  
Relevant policy: Core Strategy policies CP1 and CP3*
4. The development hereby approved shall not be carried out unless in accordance with the submitted landscaping plan '103/landscaping/16/2' received by the local planning authority on 29<sup>th</sup> April 2016 unless agreed otherwise in writing with the Local Planning Authority. Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s).  
Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.  
*Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*
5. a) The development hereby approved shall not be carried out unless in accordance with the submitted 'scheme for the retention and protection of existing Oak Tree' (the Approved Scheme) unless agreed in writing by the local planning authority. The tree protection measures shall be implemented in complete accordance with the Approved Scheme for the duration of the development (including, unless otherwise provided by the Approved Scheme) demolition, all site preparation work, tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery.

b) No development (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) shall commence until the local planning authority has been provided (by way of a written notice) with a period of no less than 7 working days to inspect the implementation of the measures identified in the Approved Scheme on-site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval of the local planning authority has first been sought and obtained.

*To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

6. The development hereby approved shall not be carried out unless in accordance with the submitted 'Pond Enhancement Plan – AA Environmental, ref 153266 April 2016' and 'Figure 1 – Pond Plan' unless agreed otherwise in writing with the Local Planning Authority. The enhancements shall be installed in accordance with these details and thereafter maintained.

*Reason: To ensure a positive impact on local wildlife occurs. Relevant Policy: Core Strategy policy CP7.*

7. No development shall take place within the site until the applicant, or their agents or their successors in title, has secured and implemented a programme of archaeological work (which may comprise more than one phase of work) in accordance with the submitted written scheme of investigation (TVAS document revised 17/03/16 15e242ev) or an equivalent document, which has been submitted to and approved in writing by the Local Planning Authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

*Reason: To ensure that any archaeological remains within the site are adequately investigated and recorded or preserved in situ in the interest of protecting the archaeological heritage of the borough. Relevant policy: National Planning Policy Framework Section 12 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB25*

8. The development hereby approved shall not be carried out unless in accordance with the following submitted drainage details unless agreed in writing with the Local Planning Authority:

- STD.01.22 Rev A', 'STD.01.23 Rev A', 'STD.01.85 Rev A', 'STD.01.92', 'STD.01.22 Rev A', 'STD.01.105 Rev A', '27789.50 Rev A1', '27789.103 Rev

A1', '27789.50 Rev A', '27789.100 Rev A1', '27789.101 Rev A1', '27789.102 Rev A1' and 'Micro Drainage Calculations, Archibald Shaw Limited January 2016

- Email from Vince Carpenter dated 28<sup>th</sup> April 2016
- Letter from Peter Brett Associates dated 15<sup>th</sup> September 2015
- General arrangement showing balancing pond, Archibald Shaw, 27789 101/A1

The submitted details shall be implemented and thereafter maintained unless agreed in writing by the Local Planning Authority.

*Reason: To ensure the development would not have an adverse impact on flood risk for the surrounding area.*

9. The development hereby approved shall not be carried out unless in accordance with the submitted 'External Lighting Strategy – BPL-17/01 Rev D' unless agreed in writing with the Local Planning Authority. All external lighting shall be installed in accordance with these specifications and locations and shall be maintained thereafter in accordance with the strategy.

*Reason: To ensure impacts on a protected species are mitigated. Relevant policy: Core Strategy policy CP7*

10. No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted wilfully damaged or destroyed, cut back in any way or removed without previous written consent of the local planning authority; any trees, shrubs or hedges removed without consent or dying or being severely damaged or becoming seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the local planning authority gives written consent to any variation. *To secure the protection throughout the time that development is being carried out, of trees, shrubs and hedges growing within the site which are of amenity value to the area. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

11. All site operatives involved in the removal of potential amphibian refugia or ground disturbance during construction shall be briefed with the submitted Tool-box talk document [Ecological Walk-over Survey, AA Environmental, 3<sup>rd</sup> September 2015] before commencing work.

*Reason: To ensure that great crested newts, a European Protected Species, are not adversely impacted upon as a result of the development. Relevant Policy: Core Strategy Policy CP7*

#### *Informatives*

1. Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
2. This permission relates solely to the building labelled cattle shed 4 on plan BPL-17/01 Rev D.

**PLANNING HISTORY**

- SO/2015/1249 - Screening Opinion for an Environmental Impact Assessment for the erection of cattle shed and farm machinery store/cattle handling shed and formation of cattle yard determined on 20<sup>th</sup> May 2015. EIA not required.
- F/2015/1235 – Full application for the proposed formation of cattle yard and associated cattle sheds and farm workshop to be constructed in four phases conditionally approved on 18<sup>th</sup> September 2015
- 160516 - Full application for the proposed erection of cattle shed no 2 currently pending
- 160517 - Full application for the proposed erection of cattle shed no 3 currently pending
- Some further applications related to typical farm activities but not directly on the site

**CONSULTATION RESPONSES**

Highways	No objection
Archaeology	No objection subject to condition (7)
Biodiversity	No objection subject to conditions (6, 9, 11)
Tree and Landscape	No objection subject to conditions (4, 5, 10)
Environmental Health	No objection
Drainage	No objection subject to conditions (8)
Waste Services	No comments received
Conservation	No objection
Hurst Parish Council	No objection
Local Members	No comments received

**REPRESENTATIONS**

- None received

**APPLICANTS POINTS**

- Demonstrated agricultural need for cattle provision
- Acceptable use in the countryside
- Accords with relevant criteria for cattle rearing
- Principle of cattle sheds already approved

**PLANNING POLICY**

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP3</b>	General Principles for Development
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP11</b>	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping

	<b>CC04</b>	Sustainable Design and Construction
	<b>CC09</b>	Development and Flood Risk
	<b>CC10</b>	Sustainable Drainage
	<b>TB21</b>	Landscape Character
	<b>TB25</b>	Archaeology
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide

## **PLANNING ISSUES**

### Description of Development:

1. This application should be read in conjunction with applications also on the agenda (reference 160516 and 160517) and further to planning permission F/2015/1235 which granted permission for the formation of cattle yard and the erection of two buildings; a workshop/store and one cattle shed as well as a perimeter wall. This planning permission showed indicative locations of three further cattle sheds; however these were not for consideration at the time. This current application relates to one of those sheds: cattle shed number 2. The shed would be 30.5 metres in width and 36.6 metres in length with an eaves height of 4.9 metres and a ridge height of 7.8 metres. Also proposed is a change to the permitted perimeter wall to accommodate a new location of cattle shed 4 which would enlarge the cattle yard from what was previous approved. The wall would be 1.68 metres in height and would be for wildlife protection.

### Principle of Development:

2. The previous application F/2015/1235 considered that there was a recognisable need for the cattle sheds due to the business requirements of the applicant. This was in part due to Belcher Farms (the applicant) being required to move the cattle from another farm to Hatch Gate Farm and also the opportunity to replace existing cattle sheds with new, up-to-date sheds. Whilst the permission was only for two buildings, the plans indicated a further three cattle sheds would be required to give a sense of scale of the development. As such, there are now three new buildings proposed on the site however it is considered the principle of development has been established by the previous application F/2015/1235 and the subsequent applications for the cattle sheds are not considered to result in any changes from this.

### Environmental Impact Assessment:

3. The site and development have been subject to a screening opinion with regards to the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (reference SO/2015/1249). This found that the impact on the environment was not substantial and therefore an Environmental Impact Assessment was not required. The change to the siting of shed 4 is not considered to alter this.

### Character of the Area:

4. The area is rural in character and appearance and particularly influenced by

agricultural buildings and views to wooded areas. Surrounding the application site, the land is flat and low hedge rows delineate fields. Although there are other land uses in the area, Hatch Gate Farm itself occupies a significant amount of land with the farm buildings approximately central in this.

5. The building proposed would be of a large size and occupy a large footprint. Nonetheless, it would be of an appearance typical of agricultural buildings and it is noted the size relates partly to the requirement of legislation on cattle herding. In addition, agricultural buildings are common in the area and in this respect additional buildings are not considered to have a harmful impact. However, criterion 2 of policy CP11 requires that proposals do not encroach on the countryside and it is acknowledged that due to their size and location, the buildings would create additional built form. Furthermore, the relocation of cattle shed number 4 does exacerbate the impact of the buildings as the envelope of development has increased from what was previously approved.
6. Weight should be given to the impact on the countryside as a result of the additional built form but this is considered to be outweighed partly by the benefits of ensuring an agricultural use remains on the site and the economic benefits this would bring but also as it would be in keeping with the character of the area. Indeed some buildings already existing on the site and a large area is covered in hard standing. Additionally, mitigation of the impact of the proposal would be provided through landscaping which over time would help it integrate into the landscape. Overall therefore, whilst the proposal would have a greater impact than previously indicated, this is not considered sufficiently harmful to warrant refusing the application.

#### Landscape and Trees:

7. The only significant tree that could be potentially impacted is an oak tree to the west of the site. This is at a greater risk than previously proposed due to the relocation of cattle shed 4 however it is still considered that suitable tree protection methods could be provided and secured through a condition (5) to safeguard the tree.
8. In terms of the wider landscape, the current views into and around the site are of agricultural buildings set against a wooded background. Hedgerows at the edge of roads prevent many long range views and the farm buildings themselves are set a significant distance from the road. Within the site, it is acknowledged that views from dwellings are possible however this tends to be from first floor windows only. Given that the proposal would introduce further agricultural buildings in an area which already has such buildings, no significant harm is considered to occur. Additional landscaping had been requested from the Tree and Landscape Officer due to the relocation of cattle shed number 4 and it has been agreed that this would occur primarily to the south. In addition to this, through agreeing landscaping details for the previous application, it has also been agreed that the row of planting would be triple rather than double. As such, the Tree and Landscape Officer is satisfied that the proposal would not have a detrimental impact on the landscape character of the area subject to conditions 4 and 10.

#### Residential Amenities:

9. Due to the significant separation distances to any neighbouring properties (approximately 50 metres to the nearest property which is on but not associated with the farm), no harmful impact on residential amenity is considered to occur.

#### Heritage Assets:

10. Old Hatch Gate Farm Cottages are a Grade II listed building (and the nearest residential property to the site). Whilst the built footprint of the farm would be increased, the cottages are considered to be of a sufficient distance away to mitigate any harmful impact on the setting of the listed building. As such, the Conservation Officer does not object to the proposal.

#### Highways and Access:

11. Access to the farm is achieved from three different points with the main being from Lines Road however the proposal would not alter any of these. Similarly, the farm already has vehicle movements and parking associated with typical farm activities and the addition of the cattle yard is not considered to increase the pressure for parking on the site or traffic movements. As such, the Highways Officer does not object to the proposal.

#### Flooding and Drainage:

12. An initial assessment of the site regarding drainage has been submitted detailing how surface water drainage would be impacted. Whilst it is acknowledged the roof form of the buildings would be large and therefore would increase run-off, it is proposed to discharge this into an existing pond subject to viable capacity or if not, into a new pond. This is considered to be an acceptable solution for all the proposed buildings given that the site is in an area of very low risk from surface water flooding. Further details have been agreed as a result of the previous application and therefore it is considered necessary to condition that the drainage scheme is carried out in accordance with the details (condition 8).

#### Environmental Health:

13. The site is a working farm and the proposal would be an extension of this. In this respect there is already an impact in terms of environmental health. In any case, the Environmental Health Officer is satisfied that the separation distance to nearby properties would mean no harmful impact would occur.

#### Biodiversity:

14. Due to the proximity to ponds and the prevalence of Great Crested Newts (GCN) in the area, a survey of these ponds has been submitted. The survey concludes that GCN are unlikely to be present. Whilst the Council's ecology officer accepts this, given the extent of the work proposed, a condition (11) requiring site operatives to be made aware of GCN is considered necessary.
15. The site is also in close proximity to a known bat roost and therefore there is potential for the proposal to impact negatively on local bat populations through additional artificial light. A lighting scheme has been submitted and agreed in

relation to the previous application F/2015/1235. The scheme accounts for the additional buildings and therefore the current application is considered acceptable subject to a condition requiring this scheme to be carried out (condition 9).

16. Additionally, any landscaping (i.e. standard hedging) or ponds for surface water run-off that may be provided could also utilise wildlife enhancement methods which would be a positive impact. The precise details of this have again been agreed through the previous application and therefore it is considered acceptable to condition that this application is carried out in the same manner (condition 6).

Community Infrastructure Levy:

17. As the proposal is not for new residential or retail floor space, the proposal is not CIL liable.

Employment Opportunities:

18. Whilst the proposal is a major application and Policy TB12 of the MDD states these should be accompanied by an Employment and Skills Plan, the opportunities provided by the scheme are considered to be limited and not of a type that would suit an employment skills plan. As such, it is considered there is no harm in not requiring a plan to be submitted.

Archaeological Impact:

19. Due to the archaeological potential of the site and surrounding area, Berkshire Archaeology has requested a condition (7) for a written scheme of investigation to be submitted. This has been carried out for the previous application and therefore a condition relating to this application is considered appropriate.

**CONCLUSION**

The proposal is for an acceptable use in the countryside and no significantly harmful impact on the character of the area would occur. Subject to appropriate conditions, it is considered no harmful impact would occur in terms of highways, ecology or trees or the wider landscape. Furthermore, the site is located a sufficient distance from residential properties in order to not have a harmful impact on residential amenity. As such, the proposal accords with the development plan and is recommended for approval.

**CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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# ST. NICHOLAS HURST PARISH COUNCIL

Clerk to the Council: Mrs. Maria Bradshaw MIIA.  
The Office, 9 Primrose Lane, Winnersh, Wokingham, Berkshire, RG41 5UR.  
Telephone: 0118 9798914  
E-mail: [Clerk@hurstpc.org.uk](mailto:Clerk@hurstpc.org.uk)

Development Control Manager,  
Wokingham Borough Council,  
Planning Services,  
P.O. Box 157,  
Shute End,  
Wokingham,  
RG40 1WR

14/3/16

Dear Mr Vaughan,

Planning Application 160516, 160517 & 160518

I refer to the above mentioned applications by Mr & Mrs J Belcher, Hatch Gate Farm, Lines Road, Hurst – full application for the proposed erection of cattle shed numbers 2, 3 and 4 respectively.

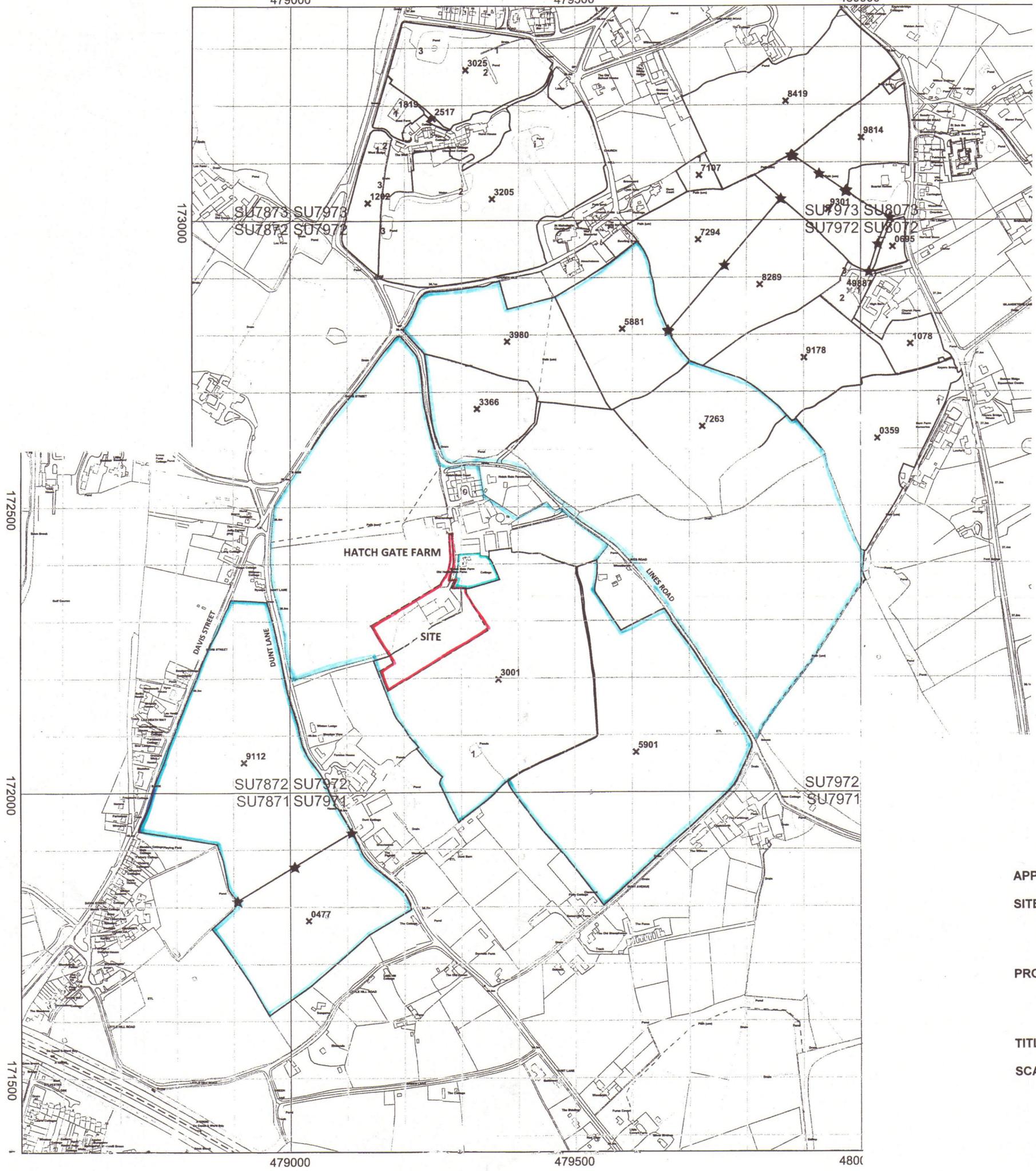
This Council has no comments.

Yours sincerely,



Maria Bradshaw,  
Clerk.

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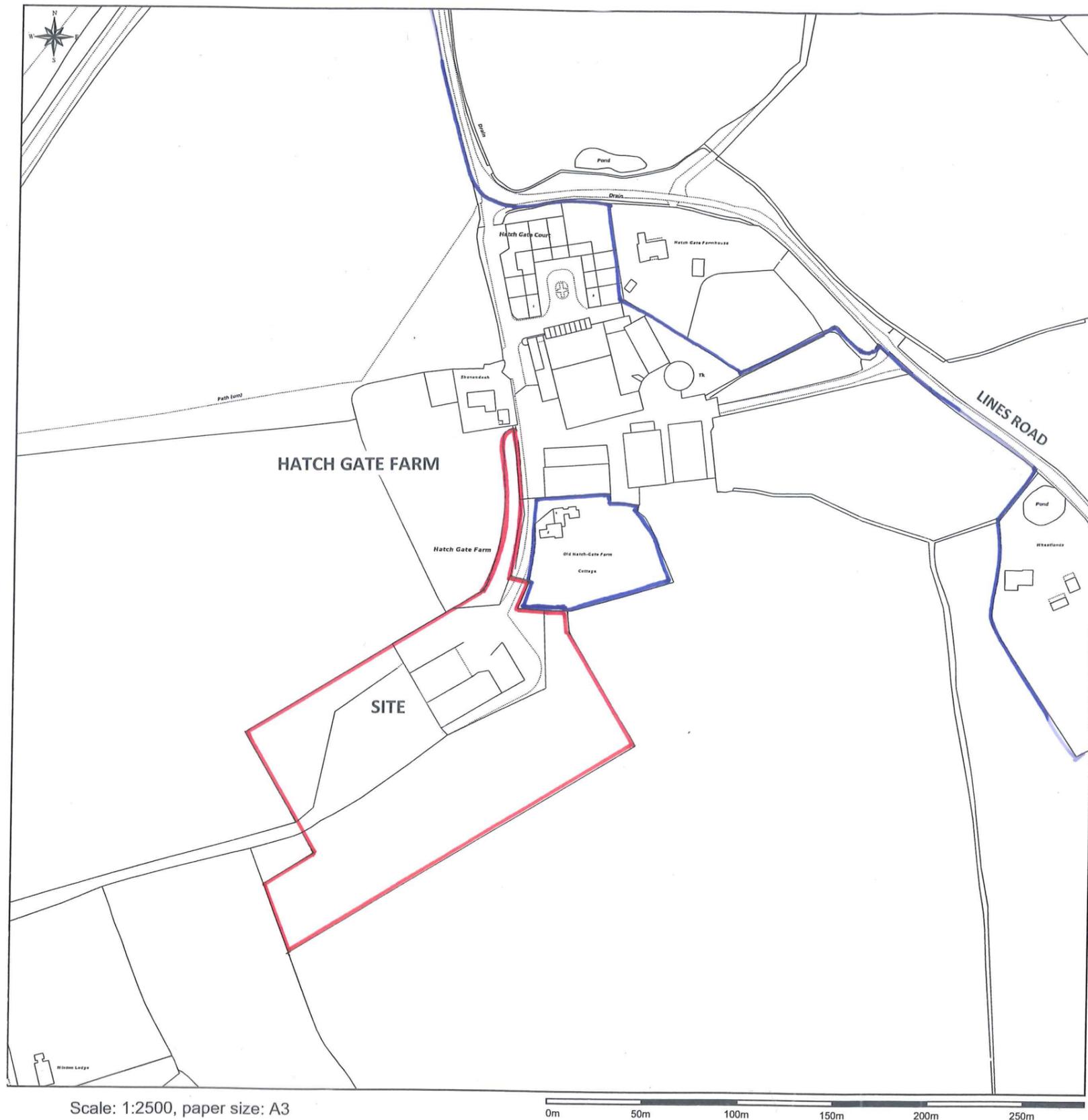


**APPLICANT :** Belcher Farms  
**SITE :** Hatch Gate Farm  
 Lines Road  
 Hurst  
 Berkshire RG10 0SP  
**PROPOSAL:** Erection of cattle shed and  
 farm machinery store/cattle  
 handling shed and formation  
 of cattle yard  
**TITLE :** Location Plan  
**SCALE** 1:5000

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**Scale - 1:5000**  
 0m 50m 100m 150m 200m  
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Scale: 1:2500, paper size: A3

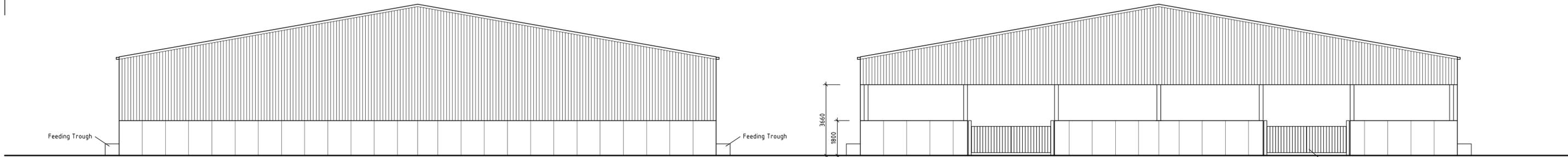
0m 50m 100m 150m 200m 250m

**APPLICANT :** *Belcher Farms*  
**SITE :** *Hatch Gate Farm  
Lines Road  
Hurst  
Berkshire RG10 0SP*  
**PROPOSAL:** *Erection of cattle shed and  
farm machinery store/cattle  
handling shed and formation  
of cattle yard*  
**TITLE :** *Site Plan (Block Plan)*  
**SCALE** *1:2500*

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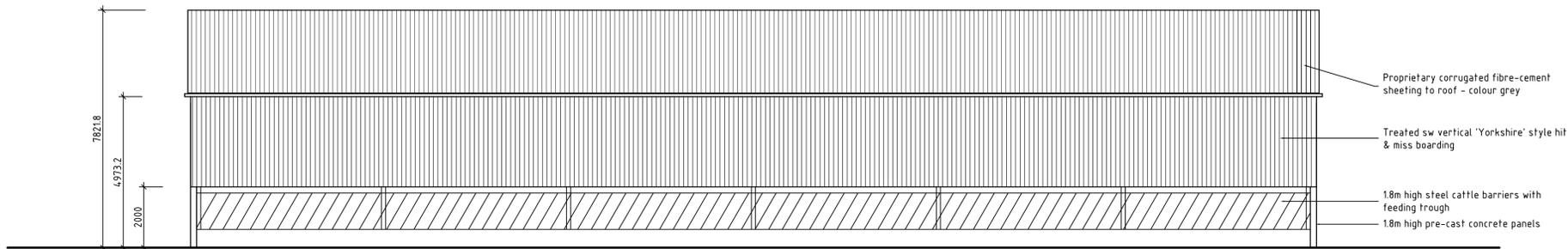




END ELEVATION - north

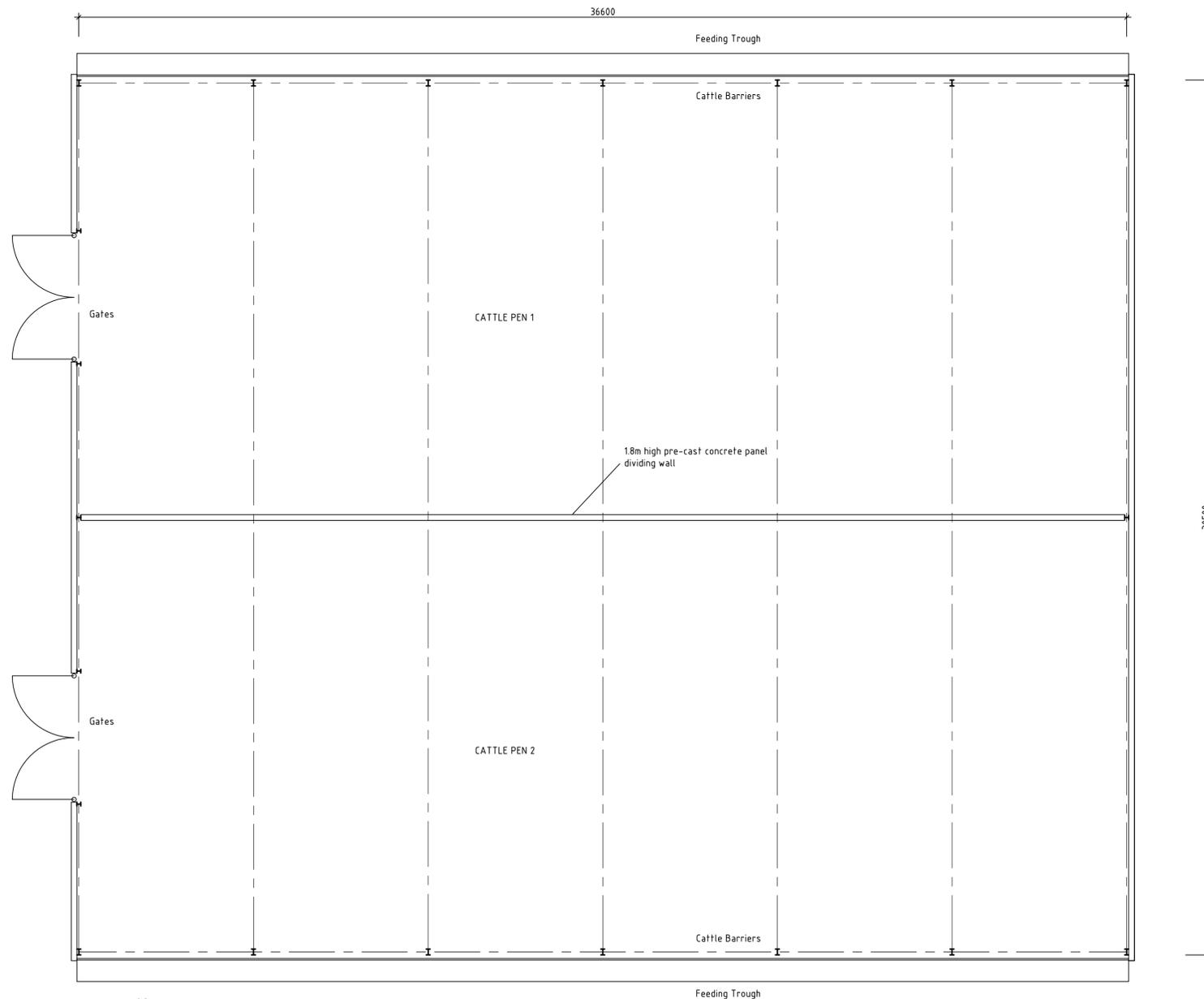
END ELEVATION - south

1.5m high steel gates



SIDE ELEVATION - east & west

Proprietary corrugated fibre-cement sheeting to roof - colour grey  
Treated sw vertical 'Yorkshire' style hit & miss boarding  
1.8m high steel cattle barriers with feeding trough  
1.8m high pre-cast concrete panels



PLAN - Cattle Sheds

Date	Revisions
B MAY 15	DRAWING CORRECTED
A APR 15	PLANNING ISSUE

**Bradbeer Planning Limited**  
Planning & Development Consultancy

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Nether Lyllyatt  
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Client  
**Belcher Farms Ltd**

Job Title  
**Hatch Gate Farm  
Line Road  
Hurst  
Berks**

Drawing Title  
**Planning  
Cattle Sheds  
Plan & Elevations**

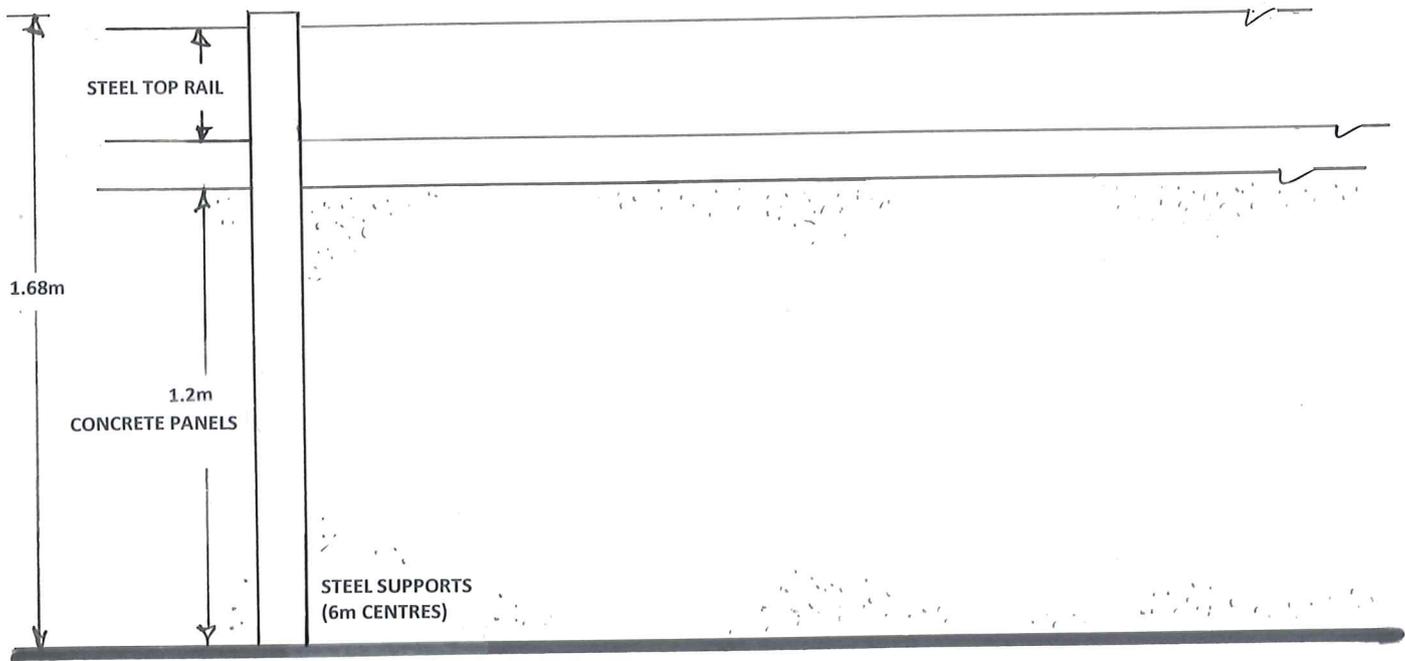
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Date  
Mar 15

Drawn by  
rw

Drwg. No.	Rev.
BPL-17/02	B





**APPLICANT :** *Belcher Farms*

**SITE :** *Hatch Gate Farm  
Lines Road  
Hurst  
Berkshire RG10 0SP*

**PROPOSAL:** *Erection of cattle shed and  
farm machinery store/cattle  
handling shed and formation  
of cattle yard*

**TITLE :** *Cattle yard fencing detail*

**SCALE** *1:20*

**DRAWING No.** *103/15/1*

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# Agenda Item 6.

<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Listed by:</b>
160777	9/13	Wokingham Town	Emmbrook	Major app.

<b>Applicant</b>	Mr Arnab Mukherjee (Wokingham Borough Council)		
<b>Location</b>	The Emmbrook School, Emmbrook Road	<b>Postcode</b>	RG41 1JP
<b>Proposal</b>	Full planning application for the proposed erection of new two storey building to replace existing single storey temporary accommodation unit.		
<b>Type</b>	Major (all other developments)		
<b>PS Category</b>	PS6		
<b>Officer</b>	Katie Herrington		

<b>FOR CONSIDERATION BY</b>	Planning Committee on 27/05/2016
<b>REPORT PREPARED BY</b>	Head of Development Management and Regulatory Services

## SUMMARY

1. The proposed two storey building (Maths block) seeks to replace the existing single storey temporary classroom accommodation.
2. The proposed building would be located to the west of the site where the temporary classrooms are currently. The proposal would be two storeys in height and include a mixture of brick and cladding to both appear modern and relate to the existing buildings on the site.
3. The proposal would involve levelling part of the rise in the land to the west of the site, reducing its height in relation to the dwellings of Village Close.
4. The proposed building would not result in any additional pupil or staff numbers.
5. The proposal would not result in the loss of any playing field.
6. This application is before the Planning Committee because it is a Major planning application. It is also submitted on behalf of Wokingham Borough Council.
7. For the reasons discussed below, the proposed development is in general accordance with local and national planning policies and therefore is recommended for approval.

## PLANNING STATUS

- Major development area
- Contaminated land zone
- Flood Zone 2 (to the east of the site)
- Adjacent to railway line (to the east of the site)
- Site of urban landscape value

## RECOMMENDATION

**That the application is approved subject to the following conditions;**

**A. Conditions and informatives:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*

2. This permission is in respect of the submitted application plans and drawings

PL001 rev A  
PL002 rev A  
PL003 rev A  
PL004 rev A  
PL005 rev A  
PL006 rev A  
PL007 rev A

Submitted to the local planning authority on the 22/03/2016.

The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

3. Before the development hereby permitted is commenced, samples and details of the materials to be used in the construction of the external surfaces of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.

*Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and CP3*

4. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development,
- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities,
- vi) measures to control the emission of dust and dirt during construction,
- vii) a scheme for recycling/disposing of waste resulting from demolition and construction works.

*Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.*

5. No work relating to the development hereby approved, including works of

demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

*Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.*

6. Prior to the commencement of the development a Travel Plan shall be submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

*Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.*

7. Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

*Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)*

8.
  - a. No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).

- b. No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c. No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d. The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

*Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21*

- 9. Before the development hereby permitted is commenced details of all boundary treatment(s) shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

*Reason: In the interests of amenity and highway safety.*

*Relevant policy: Core Strategy policies CP1, CP3 and CP6*

- 10. No building hereby permitted shall be occupied until the sustainable drainage scheme for the site has been completed in accordance with the submitted details - WSP report number 70017710-01 for Emmbrook School, dated March 2016. The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

*Reason: To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10*

#### **Informative**

- 1. Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately and an ecological consultant contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.

2. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:
- a. A full pre-application process was undertaken by the applicant. The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

## PLANNING HISTORY

Relevant applications include;

F/2009/1185. Proposed installation of modular classroom building for a period of 5 years. Approved.

## SUMMARY INFORMATION

Existing number of pupils	1100
Proposed number of pupils	1100
Total existing number of teachers	150
Total proposed number of teachers	150
Existing floor space	1009 sqm
Proposed floor space	973 sqm

## CONSULTATION RESPONSES

Environmental Health	No objection.
Drainage	No objection subject to <b>condition 10</b> .
Trees and Landscape	No objection subject to <b>conditions 8 and 9</b> .
Education	No comments received.
Policy	No comments received.
Highways	No objection subject to conditions. ( <b>Condition 4 and 6</b> )
Biodiversity	No objection subject to an informative. ( <b>Informative 1</b> )
Property Services	No comments received.
Wokingham Town Council	No objection, providing that none of the trees screening the proposed building is removed. ( <b>Condition 8</b> ).
Local Members	
Fire and Rescue	No objections received.
Sport England	No objection.
Highways England	No comments received.
Environment Agency	No objection.
National Rail	No objection.
Thames Water	No objection.

**REPRESENTATIONS**

None.

**APPLICANTS POINTS**

- The proposal would provide a new and modern teaching facility replacing substandard temporary single storey buildings.
- The proposal would not facilitate or propose an increase in student or staff numbers.

**PLANNING POLICY**

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP2</b>	Inclusive communities
	<b>CP3</b>	General Principles for Development
	<b>CP4</b>	Infrastructure Requirements
	<b>CP6</b>	Managing Travel Demand
	<b>CP7</b>	Biodiversity
	<b>CP9</b>	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure, Trees and Landscaping
	<b>CC04</b>	Sustainable Design and Construction
	<b>CC05</b>	Renewable Energy and Decentralised Energy Networks
	<b>CC06</b>	Noise
	<b>CC07</b>	Parking
	<b>CC09</b>	Development and Flood Risk
	<b>CC10</b>	Sustainable Drainage
	<b>TB21</b>	Landscape Character
	<b>TB23</b>	Biodiversity and Development
	<b>TB24</b>	Heritage Assets
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide

**PLANNING ISSUES**Description of development and site

1. The scheme is for the removal of two temporary classroom buildings and the

erection of a permanent two storey building to provide a teaching facility for mathematics.

2. The proposal would not result in additional pupils or staff.

#### Principle of Development

3. The proposal provides improved teaching and learning facilities for existing students. The proposed math's block replaces two single storey modular units. The proposed maths block building would provide modern teaching accommodation, including 10 classrooms and new staff rooms for the existing pupil base.
4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
5. Paragraph 72 of the NPPF states that great importance should be attached to ensuring that sufficient choice of school places are available to meet the needs of existing and new communities. It also states that Local Planning Authorities should take a proactive, positive and collaborative approach to meeting this requirement, and should look to approve development that will widen choice in education. The NPPF states that weight should be given to the need to create, expand or alter schools.
6. The site is located within a major development location and within a settlement boundary and as such the development should be acceptable providing that it complies with the principles stated in the Core Strategy. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers and this is discussed below.
7. Given the national and local policy context, it is considered that the proposal would be acceptable in principle, subject to other material considerations. These include no adverse impact on character of the area, the retention of suitable play space, and no adverse impacts on traffic, highways safety, neighbouring amenity, biodiversity, or sustainability.

#### Impact upon the Character of the Area:

8. The proposed two storey maths block would present a large new feature on the site. Views of the building would be had from Village Close and Emmbrook Gate but otherwise the building would be inconspicuous from longer views surrounding the site. Much of the building would be screened from longer views due to its position in relation to the existing school buildings and other development.
9. The proposed maths block would consist of brick to the ground floor and white panels to the upper floor. The use of these materials mimics to the brick and

panelled buildings of the existing two storey buildings of the school whilst providing a modern building.

10. Subject to approval of details of materials (**Condition 3**), it is considered that the development would not detract from the character of the area or the appearance of the site, according with the requirements of Core Strategy Policy CP1 and CP3.

#### Trees and landscape

11. The proposal involves levelling part of the raised land towards Village Close, and would leave some of this raised land around the Maths block. The land would be lowered by between 1.6m and 1.2 metres in line with the hand standing to the front of the site. The resulting land would be held by a proposed staggered retaining wall.
12. Additional screening would soften the impact of this building upon the residents of Emmbrook Gate and Village Close (**Condition 9**). Details of hard and soft landscaping, which would involve details of the retaining wall, have been conditioned (**Condition 7**).
13. There a number of trees that could be impacted by the proposal during its construction. A condition has been attached to protect the trees during construction (**Condition 8**).

#### Impact on playing fields/ provision of play space

14. The proposal would not result in the loss of, or reduction of, a playing field.

#### Access and movement

15. The proposal would not itself result in an increase of student or staff numbers, and as such would not be required to provide additional parking provision. The proposal replaces two existing modular buildings with teaching and learning facilities that would provide a learning environment of a higher quality. An updated travel plan has been provided and conditioned as part of this proposal (**Condition 6**).

#### Residential amenity

16. The proposed building would be located between 14.4 to 18.6 metres from the rear gardens dwellings of Emmbrook Gate (nos. 4 – 9), and around 10 metres to the boundary with number 9 Village Close. Whilst there is not a specific separation distances for schools in the Council's Borough Design Guide, the proposal would be in general accordance with its provisions for residential development.
17. Windows to the west elevation would face towards the side elevation of number 9 Village Close and the drive way to the front. The side elevation contains a single

obscure glazed window. The proposed building therefore would not result in overlooking to number 9 Village Close.

18. The proposed upper floor windows to the north elevation would serve staff rooms and face towards the back gardens of number 4-9 Emmbrook Close. There would be a distance of around 29 metres between the rear elevation of the school block and those of the dwellings to its rear, a distance in excess of the requirements of the Borough Design Guide. As such, the proposal would not result in harmful overlooking to the surrounding residential occupiers.

19. The proposed maths block will be two storey in height. However, the mound where the building would be sited would be levelled bringing the building in line with the rest of the school but lower than the ridge height of the dwellings of Village Close and Emmbrook Gate. Given the distance between the proposed Maths block and the dwellings, and the orientation of the dwellings, the proposal would not appear overbearing or result in an undue loss of daylight and sunlight to the surrounding residential occupiers.

**Biodiversity:**

15. The council's ecologist is satisfied that the proposal would not result in adverse harm to local bat roosts.

**CONCLUSION**

The proposal consists of the erection of a two storey building following demolition of two modular buildings. The proposal is not intended to increase pupil or staff numbers on the site, but rather provide enhanced teaching and learning facilities given the condition of the existing modular units.

It is considered that the proposal would not be harmful to the street scene or the character of the area, and would not result in adverse harm to residential amenity.

The proposal therefore accords with development plan policies and as such is recommended for approval subject to conditions.

**CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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## Katie Herrington

---

**From:** Mike Dunstan <planning@wokingham-tc.gov.uk>  
**Sent:** 16 May 2016 10:29  
**To:** Katie Herrington  
**Subject:** Re: Embrook School - 160777 ~[UNCLASSIFIED]~

Good morning Katie

I sent the Town Council's comments to Planning Enquiries on 12th May. They were:

*"No objection providing none of the trees screening the proposed building from neighbouring properties is removed."*

Regards  
Mike Dunstan

On 16 May 2016 at 10:05, Katie Herrington <[Katie.Herrington@wokingham.gov.uk](mailto:Katie.Herrington@wokingham.gov.uk)> wrote:

Hi Mike

The above application is due to go to committee – I have not received any moments from yourselves, and wanted to check whether this was intended.

Many thanks

**Katie Herrington**

**Planning Officer**

Wokingham Borough Council

**Address:** P.O. BOX 157, Shute End, Wokingham, Berkshire RG40 1WR

**Tel:** (0118) 974 6531

**Mob:** 07770956028

**Email:** [Katie.Herrington@wokingham.gov.uk](mailto:Katie.Herrington@wokingham.gov.uk)

**Website:** [www.wokingham.gov.uk](http://www.wokingham.gov.uk)



*Please note, this email is an opinion of an officer of this council which is of an advisory nature only, and is given without prejudice to any formal decision taken in respect of development under the Town and Country Planning Act.*

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1 Site Plan  
1 : 1000

Revisions			
No.	Description	Date	Issued by
1	Issued for information	09/05/2016	JP

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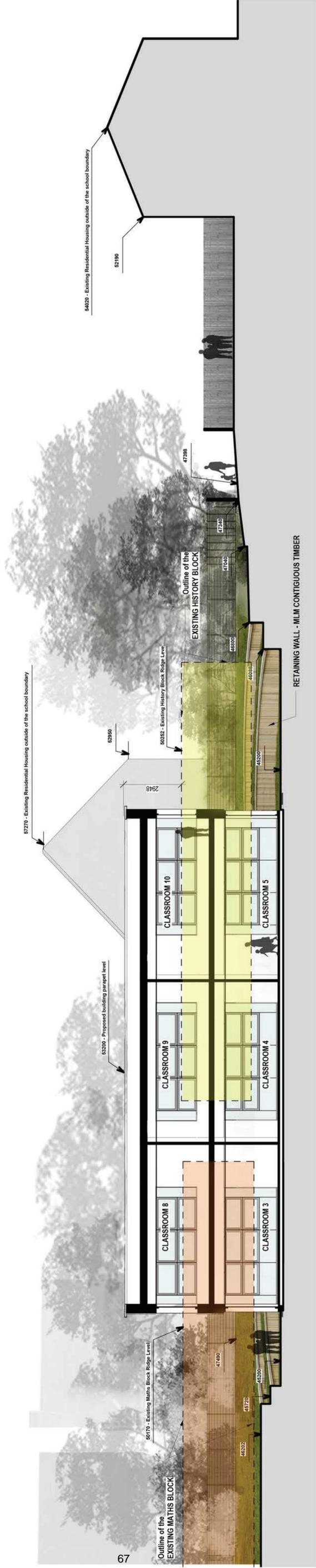
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Project Name:  
The Emmbrook School

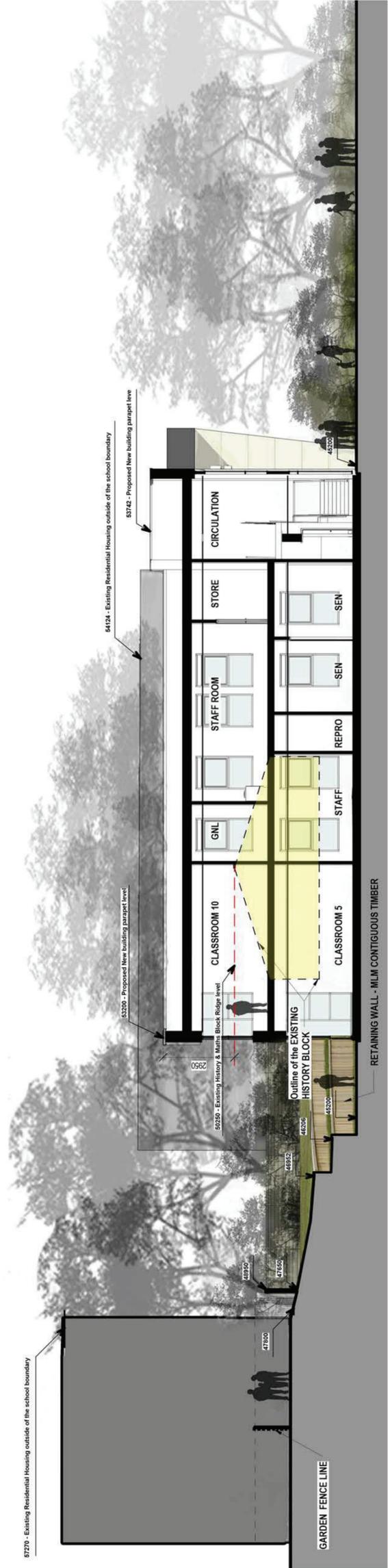
Dwg Reference:  
Proposed Site Plan

Scale: 1 : 1000 @ A1	Status: For Information		
Date: May 2016	Job No: Z0158	Dwg No: SK 005	Rev: 1
Checked: AJ	Drawn: JP		

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1 Section A-A  
1:100



2 Section B-B  
1:100

Scale 1 to 100  
1 0 1 2 5  
Metres

No.	Description	Date	Issued by
1	Issued for Information	19/05/2016	J.P.
2	Issued for Information	19/05/2016	J.P.

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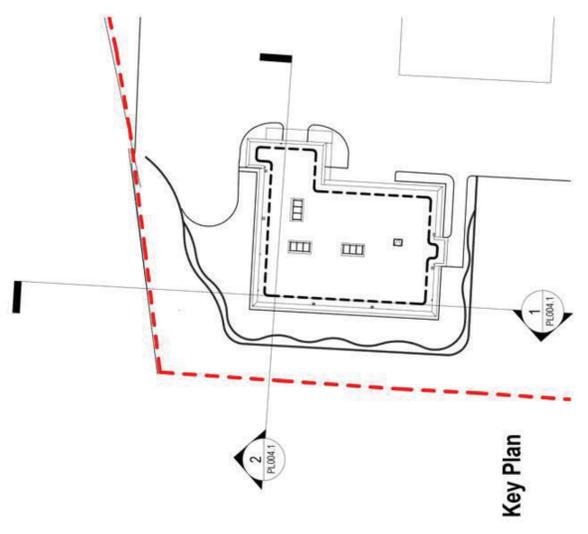
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Project Name  
The Emmbrook School

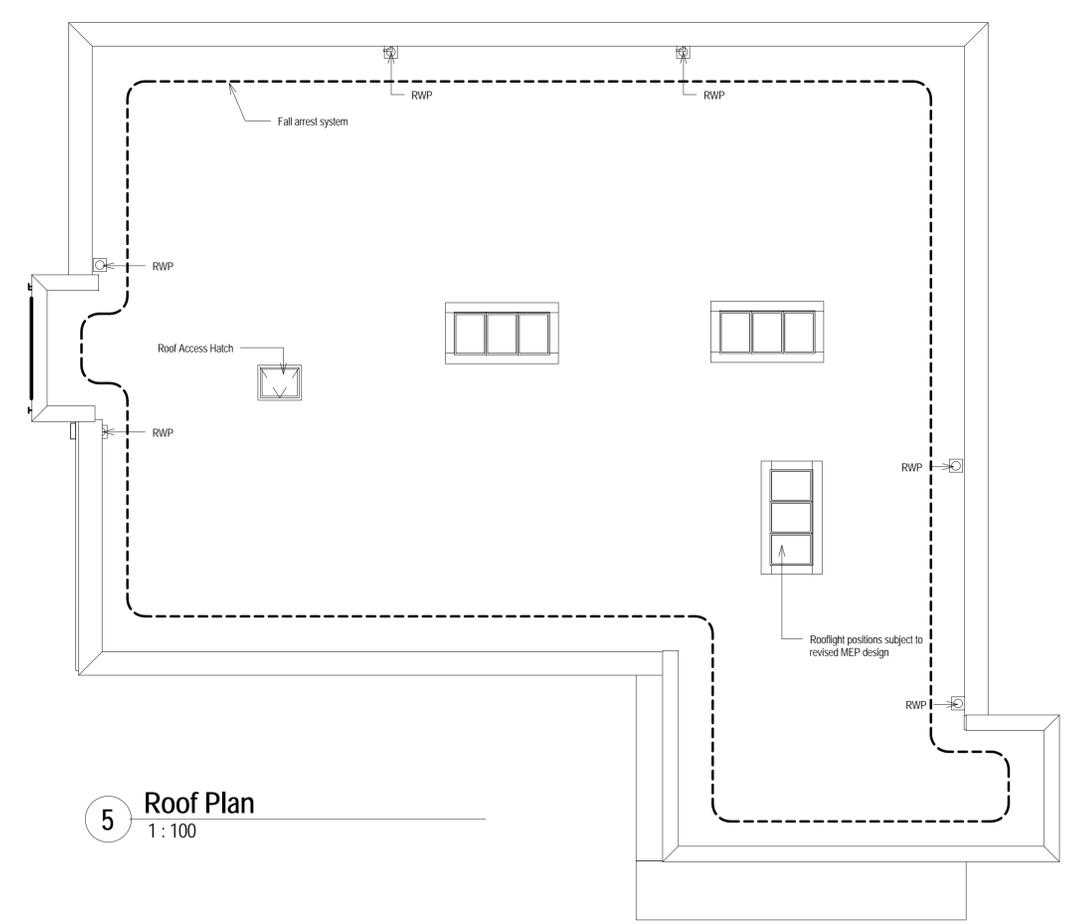
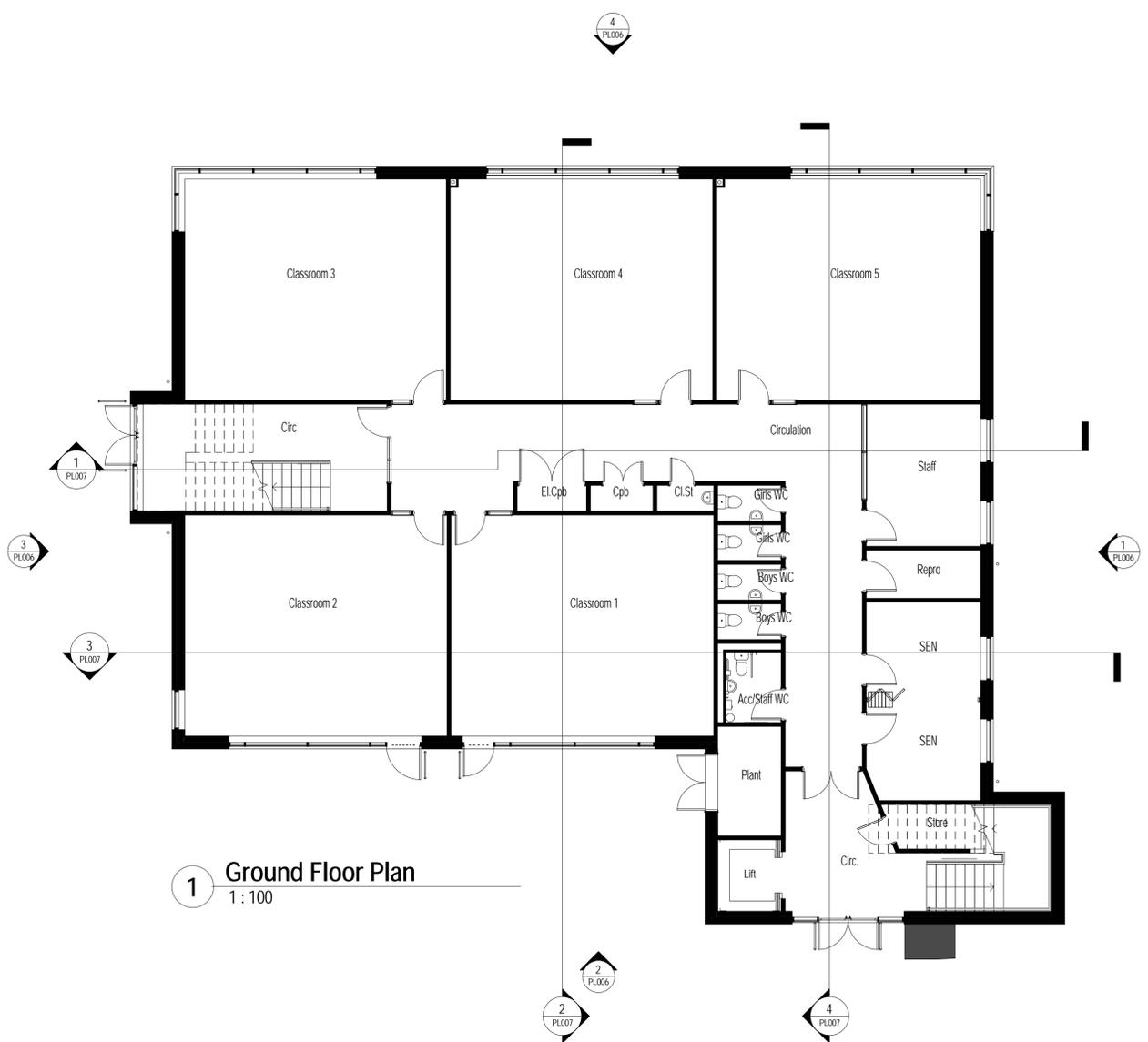
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Site Sections

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Date:	March 2016	Job No:	Z0158
Checked:	AJ	Dwg No:	PL004.1
Drawn:	J.P.	Rev:	1



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69



Scale 1 to 100 1 0 1 2 5 Metres

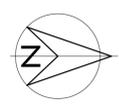
Revisions

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A	Issued for PLANNING	22/03/2016	JP

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Project Name:  
**Emmbrook School**

Dwg Reference:  
**Proposed Floor Plans and Roof Plan**

Scale: 1 : 100 @ A1	Status: <b>PLANNING</b>
Date: March 2016	Checked: AJ
Drawn: JP	Job No: <b>Z0158</b>
	Dwg No: <b>PL005</b>
	Rev: <b>A</b>

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Notes:

Key:

- A - Rainscreen Cladding, manufacture: Trespa Meteoron, multi white
- B - Red brick, Manufacturer TBC
- C - Powder coated Aluminium windows - exact RAL to be confirmed
- D - First Floor Powder coated Aluminium windows with fritted glass
- E - RWP aluminium, RAL to be confirmed
- F - Building signature, brushed aluminium, grey
- G - Window infill panels - Dark Blue ( Exact RAL to be confirmed)



**1** North Elevation  
1 : 100



**2** East Elevation  
1 : 100



**3** South Elevation  
1 : 100



**4** West Elevation  
1 : 100

Scale 1 to 100

Revisions			
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 Project Name:  
**Emmbrook School**

Dwg Reference:  
**Proposed Elevations**

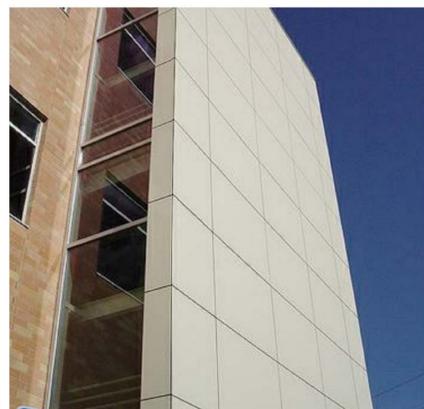
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Date: March 2016	Checked: AJ
Job No: <b>Z0158</b>	Dwg No: <b>PL006</b>
Drawn: JP	Rev: <b>A</b>



Red Brick, Manufacturer TBC



Coping and gutter - dark grey. RAL to be confirmed



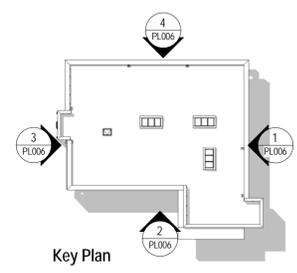
Rainscreen Cladding - Trespa Meteoron, multi white.



Aluminium windows. RAL to be confirmed

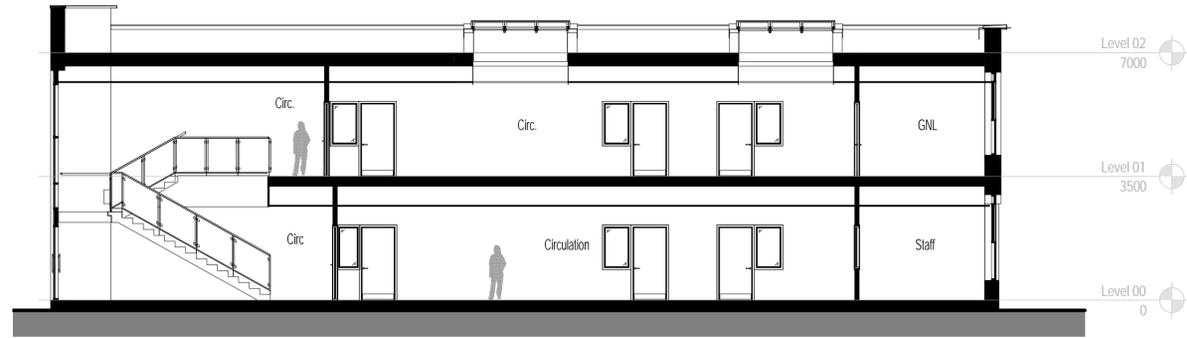


Window Infill Panels. RAL to be confirmed

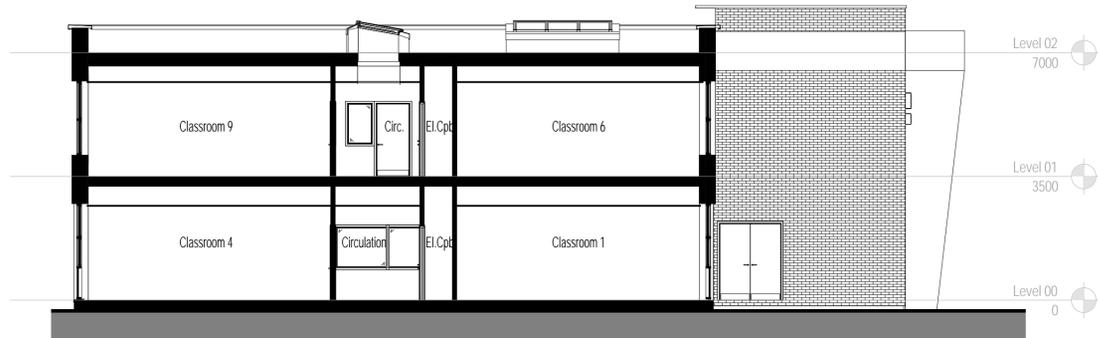


Key Plan

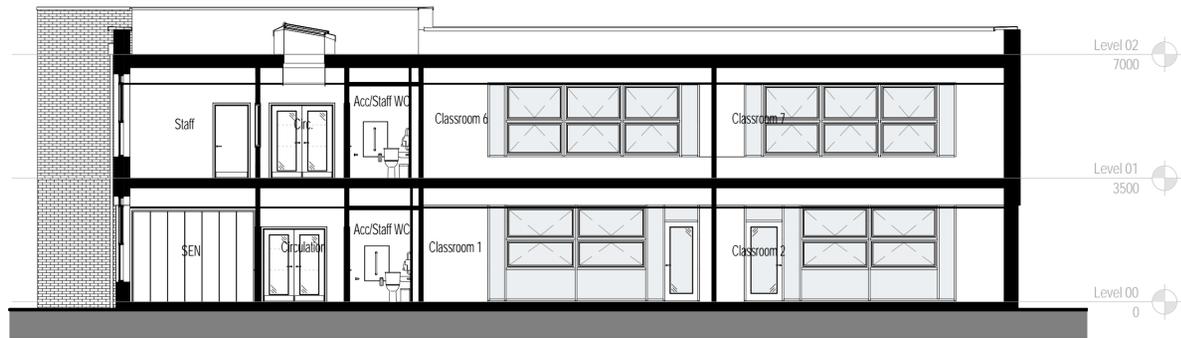
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4 Section 4  
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Revisions			
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A	Issued for PLANNING	22/03/2016	JP

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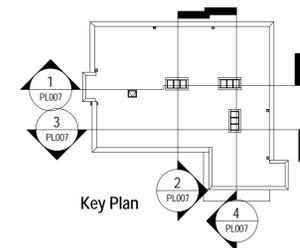
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Project Name:  
Emmbrook School

Dwg Reference:  
Proposed Sections

Scale: As indicated @ A1	Status: PLANNING
Date: March 2016	Job No: Z0158
Checked: AJ	Dwg No: PL007
Drawn: JP	Rev: A



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# Agenda Item 7.

<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Major Development Proposal</b>
153435	21	Shinfield	Shinfield South	

**Applicant** University of Reading  
**Location** Land at the Manor, bordered by Brookers Hill, Hollow Lane and Church Lane, Shinfield **Postcode** RG2 9BX  
**Proposal** Reserved Matters application pursuant to planning consent VAR/2013/0602 for development of a sports pavilion and associated vehicle parking, public open space (including a cricket pitch and informal open space), landscaping and associated works. This application comprises details of appearance, landscaping, layout and scale.  
**Type** Reserved Matters  
**PS Category** 7 (small scale major developments, dwellings) (EIA development)  
**Officer** Nick Chancellor

**FOR CONSIDERATION BY** Planning Committee on 25/05/2015  
**REPORT PREPARED BY** Head of Development Management and Regulatory Services

## **SUMMARY**

The Reserved Matters application site is located to the south of Brookers Hill, west of Hollow Lane and north of Church Lane and Gloucester Avenue. The site consists of agricultural land, outside of development limits but within the South of M4 Strategic Development Location. The area forms part of a larger site which received outline planning permission under appeal reference APP/X0360/A/12/2179141 and subsequently varied under application VAR/2013/0602.

The current application relates to the western component of the site, where the outline consent established the principle of development for a sports pavilion, associated vehicle parking, public open space (including a cricket pitch) and other informal public open space. The purpose of this Reserved Matters application is to provide further detail to what has already been agreed in respect of appearance, landscaping, layout, scale and access.

The planning committee resolved to grant planning permission in September 2015 for 126 new dwellings on the adjacent eastern part of the outline site. Although formal permission for the residential component has not yet been granted (negotiations on a s.106 legal agreement are ongoing), the two parts of the site can each be brought forward independently, as established by the Inspector within the appeal decision for the Outline planning application.

The application is before the Planning Committee as it is a major development that is recommended for approval.

The pavilion is designed as a simple form that can provide a flexible community facility, and includes changing rooms and a viewing terrace. In design terms, the pavilion considered to be appropriate given the established proposed use for the site. The wider open space, including the cricket pitch and informal open space, will benefit from amenity planting and will offer an attractive setting, integrating the

development (and the proposed residential development to the east) into the wider landscape setting. The cricket pitch itself will be constructed to English Cricket Board requirements. Hard surfacing is limited and focused around the proposed pavilion building. The proposal will not result in any significant impacts to neighbouring residential occupiers amenities. The development is therefore considered acceptable and it is recommended that Reserved Matters are approved.

## PLANNING STATUS

- South of the M4 Strategic Development Location (SDL)
- Adjacent to Modest Development Location (southern and eastern, developed part of the outline site, but not within the red line boundary of the Reserved Matters site)
- Avenue of trees along access road protected under TPO 1193/2007
- Listed Buildings: St Mary the Virgin, Church Lane (Grade 1); Milton Sandford Restaurant, Church Lane (Grade II); Church Farmhouse, Church Lane (Grade II); and granary at Church Farm House (Grade II); Lane End Farmhouse, Shinfield Road (Grade II)
- Gas pipeline consultation zone, parallel to Brookers Hill (Burghfield Power Station supply)
- Mineral Consultation Area (south-western corner)
- Contaminated Land Consultation Zone
- Thames Basin Heaths Special Protection Area 7km linear consultation zone
- Nuclear Consultation Zone
- Area of archaeological potential

## RECOMMENDATION

APPROVE RESERVED MATTERS subject to the conditions listed below.

1) Nothing herein contained shall be deemed to affect or vary the conditions imposed by planning permission O/2011/0204 dated 08/01/13 as varied by VAR/2013/0602 dated 18/06/13 which conditions shall remain in full force and effect save in so far as they are expressly affected or varied by this permission.

2) The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawing No	Title	Received by the LPA
RG-L-207 rev D	The Manor Open Space Landscape Plan	22/12/2015
RG-L-208	Site Boundary Plan	22/12/2015
RG-L-209	The Manor Open Space Boundary Treatments/Site Furniture	22/12/2015
RG-L-210	The Manor Open Space Planting Details	22/12/2015
n/a	Design and Access Statement (page 15 only)	22/12/2015
RG-A-01	Ground Floor Plan	22/12/2015

RG-A-02	Elevations	22/12/2015
RG-A-03	Roof Plan	22/12/2015
JNY8615-04 rev A	Proposed Pavilion Car Park Layout Long Sections	22/12/2015

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

3) Unless otherwise agreed in writing by the Local Planning Authority, the materials to be used in the construction of the external surfaces of the pavilion building hereby permitted shall be of a similar appearance to those indicated on page 15 of the application Design and Access Statement (December 2015) and elevation drawing RG-A-02. Development shall not be carried out other than in accordance with the so-approved details.

*Reason: To ensure that the external appearance of the building is satisfactory.*

*Relevant policy: Core Strategy policies CP1 and CP3*

4) If unexpected contamination is found at any time during development, this shall be reported in writing as soon as possible to the Local Planning Authority. An investigation and risk assessment shall be carried out and where remediation work is necessary, a remediation scheme must be prepared and submitted for written approval to the Local Planning Authority. Following the completion of measures set out in the approved remediation scheme a verification report shall be submitted to the Local Planning Authority.

*Reason: To ensure that future users of the site are protected from the harmful effects of contamination.*

5). Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no external lighting shall be installed on the site or affixed to any buildings on the site unless otherwise agreed in writing by the Local Planning Authority.

*Reason: In the interests of amenity. Relevant policy: NPPF Section 11 (Conserving and Enhancing the Natural Environment), Core Strategy policies CP1, CP3, CP11 and Managing Development Delivery Local Plan policy TB21.*

## **Informatives**

1). The development accords with the policies contained within the adopted /development plan and there are no material considerations that warrant a different decision being taken.

2). The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of addressing the evolving planning policy context.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

3). The applicant is reminded that condition 34 of the Outline planning application requires the sport pitches to be laid out in accordance with the standards and methodologies set out in the guidance note "Natural Turf for Sport" (Sport England, March 2000) or any successor publication. The applicant is advised that the successor publication is "Natural Turf for Sport" (Sport England, 2011).

Sport England recommend that a detailed assessment of the ground conditions pertaining is also undertaken to ensure (among other things) appropriate drainage.

4). The applicant is reminded that, in accordance with condition 33 of VAR/2013/0602, a written scheme of investigation is required for the reserved matters site. This should include provision for an archaeological watching brief to be carried out during any groundworks within the area of the pavilion.

**PLANNING HISTORY**

Late 1940's -1980's	Various applications for development associated with the use of the site by the National Institute for Research and Dairying (NIRD) which occupied land west of Hollow Lane between Brookers Hill in the North and Church Lane in the South.
36941	18,766m <sup>2</sup> B1 floorspace occupying most of the NIRD site, with the exception of the north-eastern corner, allowed at appeal in May 1992. The time for implementation was extended in May 1995 (application 43818)
43818	
O/1997/64991 (& duplicate O/1997/64992)	Outline application for the erection of 25 dwellings (five two-bedroom affordable units and 20 four-bedroom market houses) with associated access roads, car parking and open space approved on 1 October 1997 with reserved matters conditionally approved 24 July 1998. A subsequent full application for 20 five-bedroom houses as an alternative to the four-bedroom houses already approved was conditionally approved on 28 October 1998. (Now the Manor).
RM/1998/67568	
F/1998/68190	
O/2000/2590 (& duplicate O/2000/2605)	Outline planning permission for a 18,766m <sup>2</sup> Class B1 business redevelopment on 6.18 hectares of land (the central part of the NIRD site, north of the residential development that had already taken place at the Manor) conditionally approved on 7 June 2001. Access was to be from Brookers Hill.
O/2003/8535 (& duplicate O/2003/8536)	Outline application for the erection of 80 dwellings with access via The Manor onto Church Lane conditionally approved on 24 February 2004.
RM/2005/3851	Reserved matters for 78 dwellings was conditionally approved on 3 May 2005 and reserved matters for conversion of a barn to two
RM/2006/6701	

F/2008/2526	<p>dwellings conditionally approved on 8 March 2006. Subsequent full applications for conversion of the barn to one and three dwellings were refused (F/2007/2060 &amp; F/2007/3056) but a full application for three dwellings was approved on 28 January 2009. (Now Gloucester Avenue).</p>
O/2003/8537 (& duplicate O/2003/5838)	<p>Outline application for erection of 18,766m<sup>2</sup> buildings for B1 use on 6.18 hectares of land (on the northern part of the NIRD site) conditionally approved 12 January 2004. A two year extension of the time for submission of reserved matters until July 2009 was conditionally approved in July 2006 but a further extension of time was refused on 30 June 2008 due to the use of land in the Countryside, failure to demonstrate the proposal would not cause harm in terms of the amenity of neighbours, flooding and bats or to secure infrastructure impact mitigation.</p>
VAR/2006/7731	
O/2008/0792	
TP/2007/0435	<p>Temporary use of hard standing for offices, car parking site vehicle parking and temporary materials store by Balfour Beatty granted until May 2007. An application to extend this period and allow 24 hour use was withdrawn on 5 February 2009.</p>
VAR/2008/2374	
C/2011/0204. Appeal reference: APP/X0360/A/12/21 79141	<p>Outline application for demolition of existing buildings and a residential development comprising up to 126 dwellings, a sports pavilion, public open space, landscaping and associated works (means of access to be considered: appearance, landscaping, layout, and scale reserved). The application was refused by Planning Committee on 30/05/2015. Planning permission was subsequently granted permission by the Planning Inspectorate on 08/01/2013.</p>
VAR/2013/0602	<p>Application to vary conditions 1, 9, 14, 15, 29 and removal of conditions 50 and 53 of planning consent granted on appeal O/2011/0204 dated 8.1.13 for up to 126 dwellings, a sports pavilion, public open space, landscaping and associated works. Approved 18/06/2013.</p>
C/2014/0554	<p>Application for submission of details to comply with condition 42 of VAR/2013/0602 (Access from Brookers Hill). Details approved 19/06/2014</p>
C/2014/0560	<p>Application for submission of details to comply with the following conditions of VAR/2013/0602):</p> <p>Conditions 4, 8 and 9 (phasing of public open space, boundary treatments, structural landscaping).</p> <p>Conditions 29(A) and 29(B) Contamination</p> <p>Details approved 19/06/2014</p>
RM/2014/2062	<p>Reserved Matters application pursuant to planning consent VAR/2013/0602 for a development of 126 dwellings a sports pavilion, public open space landscaping and associated works. This application comprises details of appearance, landscaping, layout and scale. Resolution to grant planning consent by planning committee on 16/09/2015 subject to completion of a section 106 legal agreement pertaining to non-adoptable areas of</p>

	the site. Negotiation of the s.106 legal agreement is ongoing.
152767	Application for submission of details to comply with the following condition of planning consent VAR/2013/0602 (18/6/2013). 33. Archaeology. Part discharge 09/11/2015, full discharge is subject to outcome of trial trenching results.
153425	Application for submission of details to comply with the following conditions of planning consent VAR/2013/0602 (18/6/2013): 20 & 21 Details of Bat Mitigation. Conditions discharged 23/02/2016.
160161	Application for submission of details to comply with condition 24 of planning consent VAR/2013/0602 (13/6/2013): 24. Demolition and Remediation. Condition discharged 29/02/2016
160221	Application for submission of details to comply with the following conditions of planning consent VAR/2013/0602 (13/06/2013): 6. Materials. Currently under consideration.

<b>SUMMARY INFORMATION</b>	
Site Area	3.84ha
Previous land use	Agricultural
Proposed land use	Cricket pitch (1.1ha), pavilion and associated vehicle parking (0.11ha), remainder of site: 2.63ha
Proposed floor space (cricket pavilion)	126m <sup>2</sup>
Existing parking spaces	0
Proposed parking spaces	22 car parking spaces (including two disabled spaces), plus parking for two mini-buses and one coach. In line with adopted standards.

<b>CONSULTATION RESPONSES</b>	
Landscape Officer	No objection
Ecology Officer	No objection
Access and Movement	<p>No objection. 22 car parking spaces, including two disabled spaces have been provided. This meets the WBC standard and is acceptable.</p> <p>Occasional coach parking will be provided on a reinforced grass area to provide a stable surface but minimise visual dominance. Coaches would be able to access and egress the development in a forward gear. Refuse vehicles</p>

	<p>would also be able to access the pavilion if required.</p> <p>10 covered secure and accessible short term cycle parking spaces are being provided at the pavilion and this is acceptable. Long term cycle parking at this location is not considered necessary.</p>
WBC Drainage Advisor	No objection
Environmental Health Officer	No objection, subject to additional precautionary condition in unlikely event unexpected contamination is found.
Archaeological Advisor	<p>No objection.</p> <p><i>[Officer note: A previous evaluation within the area of the pitch showed there to be a low potential for archaeological remains. An archaeological watching brief will be required to be carried out during any groundworks, in order to comply with conditions attached to the Outline planning permission. See also informative 4].</i></p>
Sport England	<p>Supports the application. Various new conditions pertaining to the management and standard of the sports pitch are suggested.</p> <p><i>[Officer note: The application proposal is not required to mitigate the impact of any other development. Therefore, the various suggested conditions are not considered to meet the required test of being reasonable or necessary in this instance. See also Informative 3].</i></p>
Ward members	No comments received
Shinfield Parish Council	<i>"Shinfield Parish Council welcomes additional sports provision within the parish"</i>

## REPRESENTATIONS

No representations have been received.

## PLANNING POLICY

National Policy

National Planning Policy Framework 2012

Technical Guidance to the National Planning Policy Framework 2012

National Planning Policy Guidance

South East Plan 2009

Saved policy NRM6 - Thames Basin Heaths Special Protection Area

Wokingham Borough Core Strategy policies:

- CP1 - Sustainable Development
- CP3 - General Development Principles
- CP4 - Infrastructure Requirements
- CP6 - Managing Travel Demand
- CP7 - Biodiversity
- CP8 - Thames Basin Heaths Special Protection Area
- CP9 - Scale and Location of Development Proposals
- CP11 - Proposals outside Development Limits (including countryside)
- CP19 – South of the M4 Strategic Development Location

Appendix 7 – Additional Guidance for the Development of Strategic Development Locations

Managing Development Delivery Local Plan (MDD LP) policies

- CC01 Presumption in Favour of Sustainable Development
- CC02 Development Limits
- CC03 Green Infrastructure, Trees and Landscaping
- CC04 Sustainable Design and Construction
- CC05 Renewable energy and decentralised energy networks
- CC07 Parking
- CC09 Development and Flood Risk (from all sources)
- CC10 Sustainable Drainage

Landscape and Nature Conservation

- TB21: Landscape Character
- TB23: Biodiversity and Development

SAL05: Delivery of avoidance measures for Thames Basin Heaths Special Protection Area

Emerging Shinfield Parish Neighbourhood Development Plan:

At this stage, the Parish Neighbourhood Plan is being consulted on and has not been adopted. Having regard to the NPPG and NPPF, it should be afforded limited weight at this stage.

Supplementary Planning Documents

Wokingham Borough Design Guide Supplementary Planning Document (June 2012)

Planning Advice Note, Infrastructure Impact Mitigation, Contributions for New Development (Revised 28th April 2010)

Sustainable Design and Construction Supplementary Planning Document (28 May 2010)

South of the M4 Strategic Development Location Supplementary Planning Document (October 2011)

Infrastructure Delivery and Contributions Supplementary Planning Document (October 2011)

Shinfield School Green Village Character Statement

## **PLANNING ISSUES**

### Principle of development and infrastructure delivery

1. The Reserved Matters site is located outside of development limits, but within the South of M4 Strategic Development Location. The principle of development has been established through appeal decision APP/X0360/A/12/2179141 (subsequently varied by application VAR/2013/0602), whereby outline planning permission was granted for a sports pavilion, associated vehicle parking, public open space (including a cricket pitch) and other informal open space. This permission establishes the principle of access together with development parameters for the western part of the Outline site to which the current Reserved Matters application relates.
2. The purpose of the current reserved matters application is therefore to provide further detail in respect of the layout, scale and the appearance of the pavilion building, sports pitches, open space and landscaping. The application relates only to the western element of the Outline site and does not include details for the residential development that forms part of the same Outline parent planning application.
3. The planning committee resolved to grant Reserved Matters permission in September 2015 for 126 new dwellings on the adjacent eastern part of the Outline site (application RM/2014/2062). Although formal permission for the detail of the residential component has not yet been issued, the two halves of the site can each be brought forward independently, as established by the Inspector within the appeal decision for the Outline planning application.
4. Developer infrastructure contributions have previously been secured by means of a section 106 legal agreement. These contributions will include specified amounts towards the Shinfield Eastern Relief Road (ERR), the improvement of local bus stops, primary and secondary education, libraries, various sports and recreational facilities, country parks, affordable housing, improvement of local walking and cycling infrastructure and a travel plan. These are tied to the residential component of the Outline planning permission.
5. The current Reserved Matters application includes sports and recreational facilities; however, on-site provision of these facilities (i.e. to serve the 126 dwellings on the eastern part of the Outline site) is not a requirement of the Outline planning permission. Instead, the section 106 legal agreement secures financial contributions for off-site provision.

### Impact on the Character of the Area

6. The site is currently in agricultural use and is comprised of open grassland. The northern part of the site, fronting Brookers Hill, is prominent from the public realm and also from existing properties on the northern side of Brookers Hill. Views of the site from other vantage points are more limited; however, as the site is adjacent to the planned residential development immediately to the east, there will in future be a direct relationship between the two.
7. The location of the sports pitch and pavilion were agreed as part of the Outline planning approval and remain broadly as shown on the approved land use parameter plan. The pavilion building is sited wholly within the building area specified by the parameters, allowing for viewing of the proposed cricket pitch (through a glazed elevation) immediately to the south.
8. The car park area extends slightly outside the parameter plan area; however, this is in order to meet Wokingham Borough Council standards for parking provision. Hard surfacing is limited and focused around the pavilion building. The surfacing would be a self-binding gravel finish - matching the specification of recently constructed car parks for the Loddon and Ridge SANGs. This will provide a more naturalistic appearance that is appropriate to the location of the site in providing a transition to the surrounding countryside.
9. The pavilion building is single storey – 6.2m to the ridge line (which corresponds to 69.7 AOD) is comfortably within the 72m AOD maximum height specified by the Outline parameters. The building would have a simple form with a pitched roof and canopy facing the sports area, designed to prevent glare from the late afternoon summer sun.
10. The building has been designed to deter vandalism and features rolled shutters to protect principal glazed elevation when the building is not in use. The proposed materials are in keeping with the Local Character Analysis undertaken for the outline planning application and include timber cladding to walls and slate and slate roof. Therefore, it is considered that the proposal would have an appropriate appearance within its surroundings.
11. A cricket pitch (square and outfield) would be formed immediately to the south of the pavilion building in accordance with English Cricket Board requirements for community facilities. Some cut and fill will be required in order to create a suitable playing surface; however, level changes will be limited to a maximum - 1m/+1.5m regrading, in accordance with Outline planning permission parameters.
12. Informal recreation space around the periphery of the site will provide an attractive setting for the development and will also help to integrate the adjacent development into the wider landscape setting. To this end, amenity grassland and structural planting will be implemented in accordance with details required under condition 8 and 9 of the Outline planning permission.
13. The Outline planning permission made provision for allotments in the far south western corner of the site. The current application does not include details of these allotments, and the corresponding part of the site is shown to remain 'as

existing'. However, there is no formal or policy requirement for delivery of allotments on the site. As set out in paragraph 3, the Reserved Matters site can be brought forward independently of the anticipated development on land to the east and is not required in order to mitigate the impact of residential development.

#### *Summary*

14. The details of the development are considered to be in accordance with the parameters set by the Outline planning permission. The pavilion building is of a modest scale and would have an appropriate appearance in this setting. The cricket pitch, informal open space and landscaping proposals will enhance the site and provide for an appropriate transition between settlement and countryside. The design approach respects the context of the site location, advice provided by the NPPF, policies CP1 and CP3 together with Supplementary Planning Guidance and is therefore considered to be acceptable

#### Landscaping

15. The application is supported by a landscaping scheme detailing boundary treatments and structural landscaping. This proposes a small number of modifications to landscaping previously agreed under conditions 8 and 9 of the Outline planning application (reference C/2014/0560). The landscape officer has advised that these changes, being minor, allow for the same overall number of trees and are acceptable in principal.

#### Impact on Neighbouring Properties

16. Core Strategy policy CP3 requires that new development should be of a high quality of design that does not cause detriment to the amenities of adjoining land users. Separation standards for new residential development are set out in section 4.7 of the Borough Design Guide.
17. The pavilion building is well separated from neighbouring development, and from future residential development on the site to the east. No floodlighting is proposed as part of the scheme. Therefore, the pavilion proposal will not cause detriment to adjoining land users in terms of loss of light, light pollution, overlooking, or overbearing impact.

#### Noise

18. Core Strategy Policy CP1, Sustainable Development and MDDL Policy CC06 (Noise) directs development away from areas where noise would impact upon amenity and require mitigation where noise cannot be completely avoided. The location of the pavilion and the cricket pitch are in accordance with the locations specified in the outline land use parameter plan. The parking area is also sited away from any neighbouring residential properties and therefore any impact is limited. Use of the cricket pitch and pavilion is unlikely to cause harmful noise disturbance to adjoining land users.

#### Sustainable Design & Construction

19. Core Strategy Policy CP1 requires development to contribute towards the goal of achieving zero carbon development by including on-site renewable energy features and minimising energy and water consumption. MDD LP policies CC04, CC05 and the Sustainable Design and Construction Supplementary

Planning Document (May 2010) also emphasise this.

20. Condition 38 of the outline planning permission requires the sports pavilion to be designed to achieve BREEAM 'very good' (or equivalent) certification. In addition, condition 39 requires the development to include measures to secure at least a 10% reduction in carbon emissions.
21. BREEAM is a sustainability rating scheme for the built environment; it contains nine categories overall which are made up of various environmental issues. During a BREEAM assessment each of these issues is measured against specific performance criteria in order to ascertain what BREEAM level can be awarded. A pre-assessment exercise has been completed and demonstrates that an overall score of 56.3% could be achieved, exceeding the threshold for a 'Very Good' rating (55%). Therefore, the development is capable of meeting the requirements of condition 38.
22. A simplified building energy model has been completed for the pavilion building and has demonstrated that a minimum of 10% of the building energy demand can be provided by decentralised, renewable or low-carbon technology. It is proposed that an Air Source Heat Pump will be installed, allowing for 87.8% of the building energy usage to be provided by this source. Therefore, the development is capable of meeting the requirements of condition 39.

#### Access and movement

23. Core Strategy Policies CP1 and CP6 require new development in to be in accessible locations, provide access by a range of modes with emphasis on sustainable travel, provide appropriate parking, and mitigate any road safety or other highway related problems. The travel impacts of the development were considered at the outline stage (in line with the Council's modelling protocol) in combination with other planned development within the South of M4 SDL. The Manor site (including the residential development) was shown not to have a significant impact on its own.
24. The outline application established the detail of a main access to the site from the existing priority junction at Brookers Hill. The existing junction design has sufficient capacity both to serve users of the sports facility/pavilion and the anticipated residential development on land to the east.
25. Vehicular access to the pavilion is from an existing estate road, just inside the main Brookers Hill access to the site. It is anticipated that this initial section of the site access road (i.e. to serve the pavilion) will be adopted as public highway.

#### *Parking*

26. In line with Core Strategy Policy CP6, Managing Travel Demand and MDDL Policy CC07: Parking Condition 45 of VAR/2013/0602 requires Reserved Matters to incorporate car and coach parking in line with the Council's standards.
27. The application includes details of the parking layout at the pavilion. 22 car parking spaces (including two disabled spaces) have been provided. Two mini-bus spaces are also provided, together with occasional coach parking on a

reinforced grass area to provide a stable surface but minimise visual dominance. Coaches would be able to access and egress the development in a forward gear. Refuse vehicles would also be able to access the pavilion if required.

28. 10 covered secure and accessible short term cycle parking spaces are being provided at the pavilion. Long term cycle parking at this location is not considered necessary.
29. Vehicle and cycle parking is in accordance with the WBC standard and is therefore considered to be acceptable.

#### *Connectivity*

30. An existing Public Right of Way, Shinfield Footpath 10, lies outside of the Reserved Matters application site boundary and is unaffected by the Reserved Matters proposal.

#### Flooding and Drainage

31. Core Strategy Policy CP1 and MDDL Policies CC09 and CC10 establish that new development should avoid increasing and where possible reduce flood risk (from all sources) by first developing in areas with lowest flood risk, carrying out a Flood Risk Assessment (FRA) where required and managing surface water in a sustainable manner.
32. A drainage design drawing has been provided and demonstrates that surface water flows (accounting for 1-in-100 year flood events plus climate change) can be conveyed away from the pavilion via swale and thereafter contained wholly within land controlled by the applicant. Formal approval of the drainage details will be considered as part of a future application to discharge drainage conditions 30 and 31 of the Outline application.
33. Therefore, the application is acceptable in terms of flood risk and drainage.

#### Ecology

34. Core Strategy Policy CP7, Biodiversity and MDDL Policy TB23: Biodiversity and Development, require appropriate protection of species and habitats of conservation value. Design Principle 1b (i-ii) is concerned with protection of ecological habitat and biodiversity features, together with mitigation of any impacts that do arise.
35. The development is unlikely to result in any significant harm to biodiversity, subject to compliance with the outline planning conditions.

#### *Thames Basin Heaths Special Protection Area*

36. The Reserved Matters application does not pertain to residential development. Therefore, the application is not required to demonstrate SANG provision.

#### Contamination

37. The Reserved Matters site is not known to be contaminated, but lies adjacent to former National Institute for Research and Dairying (NIRD) site (part of the Outline application site). Contamination has been found on the NIRD site and is currently being remediated in order to facilitate residential development.

Therefore, condition 4 is recommended on a precautionary basis in case unexpected contamination is found.

#### Archaeology

38. Core Strategy Policy CP3 and MDDL Policy TB25 require the archaeological impact of development to be taken into consideration.
39. A condition was included within the outline planning permission to require a programme of archaeological work in accordance with a written scheme of investigation to be agreed.
40. The Archaeological Assessment submitted at the outline stage identified varying levels of activity across the site. The area corresponding to the cricket pitch was shown to have low potential for archaeological remains. However, the proposed pavilion falls within an area not previously evaluated and lies closer (but not within) an area shown to have potential for archaeology. Therefore, it is recommended that a watching brief is carried out during groundworks. Such measures are controlled by condition 33 of the Outline planning application.

#### **CONCLUSION**

The reserved matters are consistent with the principles and parameters established by the outline planning permission, which themselves reflect the Council's adopted policies. It is considered that the application will deliver high quality development and therefore is recommended to the planning committee for approval.

#### **CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

## **Shinfield Parish Council – consultation response**

### **153435 Land at the Manor, bordered by Brookers Hill, Hollow Lane and Church Lane**

Proposal Reserved Matters application pursuant to planning consent  
VAR/2013/0602 for development of a sports pavilion and associated  
vehicle parking, public open space (including a cricket pitch and informal  
open space), landscaping and associated works. This application comprises  
details of appearance, landscaping, layout and scale.

Planning Officer Nick Chancellor Comments by No date specified

Our comment Shinfield Parish Council welcomes additional sports provision within the parish.

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**KEY**

- Reserved Matters Application Boundary
- Pavilion and parking area from approved parameter plan
- Housing development area (refer to Reserved Matters Application RM/2014/2062)
- Gas easement area
- Existing tree
- Existing tree removed
- Root protection area
- Existing hedgerow
- Existing gate
- Existing contour
- Proposed contour

**Proposed Planting Works**

Note: The majority of planting works and associated fencing is as per the approved proposals under discharge of conditions Ref C/2014/0560, condition 8 and 9.

- Proposed extra heavy standard tree
- Proposed standard tree
- Proposed woodland mix
- Proposed mixed native hedgerow
- Proposed sports grass (to ECB specification for square and outfield)
- Proposed general amenity grass
- Proposed species rich grassland
- Proposed spring flowering bulbs

**Proposed Hard Works**

- Proposed maintenance vehicle gate
- Proposed car park access barrier
- Proposed timber stock proof fence with barbed wire
- Proposed timber stock proof fence without barbed wire
- Proposed timber knee rail
- Proposed self binding gravel surface
- Proposed resin bound gravel surface
- Proposed macadam surface
- Proposed reinforced grass

NOTE: Each planting compartment to have timber pedestrian maintenance access gate (0.9m wide).

**PLANTING AND MAINTENANCE NOTES**

- PREPARATION:**
- Planting to be undertaken into existing in-situ topsoil.
  - Existing crops to be removed. Topsoil/subsoil to be cultivated/ripped to a depth of 500mm to relieve compaction.
- PLANTING:**
- All plant material to be of UK origin.
  - The roots of bare-root plants must be kept covered at all times, to prevent them drying out. Keep small bare-root plants completely within a polythene sack until the moment of planting.
  - Refer to matrices and schedules from planting arrangements and mixes.
  - Transplants- Notch planted or pit planted depending on soil conditions and size of roots with 30g 'Sierrablenn Flora' slow release fertiliser. Ensure notch is large enough to accommodate roots without bending or breaking. Plant at the same depth transplant was growing at previously. All plants to be fitted with tree/shrub shelters, securely staked and with full ground contact. Holly to be fitted with 600x130mm 'Planet' tree guard (green-tech.co.uk)
  - Feathereds- Planted in pits approximately 600x600x450mm or as required to ensure full accommodation of roots without bending or breaking. Backfilled with excavated topsoil mixed with 60g 'Sierrablenn Flora' slow release fertiliser. Supported by single stake and adjustable tree tie and protected with spiral rabbit guards.
  - Heavy standards- Planted in pits approximately 1200x1200x900mm, backfilled with excavated topsoil mixed with 120g 'Sierrablenn Flora' slow release fertiliser. Supported by single stake and adjustable tree tie and protected with spiral rabbit guards.
  - Planting to be carried out late October to late March, on a mild, damp day. Avoid days with frost or strong, drying winds.
  - Water immediately after planting.
  - Undertaken chemical weeding of an area of 1m diameter around each plant immediately after planting. Ensure herbicide application is carried out by a suitably trained person, only in periods of low winds, and with careful directional application to ensure no spray drift. Observe all precautions recommended by the manufacturer and remove containers from site immediately they have been emptied or are no longer required
  - Area to be protected by rabbit/deer proof fencing (with pedestrian access gates for maintenance).
- MAINTENANCE:**
- Management Objectives: The overall management aims can be broken down into the following objectives:
- Provide a naturalistic softening and screening edge to the proposed development area;
  - Develop value as components of the green infrastructure of the Site and surrounding area, enhancing the 'green gap' characteristics of the open space; and
  - Enhance the ecological and amenity value of the Site.
- These objectives will be met by the creation of a woodland with a dense high canopy and variety of understorey characteristics to the eastern boundary and reinforcement of the existing vegetation to the western boundary.
- Maintenance Operations - Establishment Period 1: Years 1 to 2 Following Planting**
- Re-firming plants after high winds and frosts;
  - Maintain plant surrounds for a diameter of 1m and the inside of guards/shelters, in a weed free condition between April to September, through combined techniques of herbicide, cultivation and hand weeding, until canopies are closed. Herbicide application to be undertaken in February/April with possible second application of foliar acting herbicide in August-September if significant weed growth present. Ensure herbicide application is carried out by a suitably trained person, only in periods of low winds, and with careful directional application to ensure no spray drift. Observe all precautions recommended by the manufacturer and remove containers from site immediately they have been emptied or are no longer required
  - Control any noxious weed invasions using appropriate methods;
  - Strim grass sward annually to a height of 100mm to control growth and competition with woodland plants. Arising to the left in situ to provide some moisture retention and recycling of nutrients.
  - Water during prolonged dry spells to prevent plant deaths, during first two years following planting;
  - Remove any broken branches and, for tree species, any shoots that compete with the main central stem with sharp clean pruning tools;
  - Remove litter at each visit; and
  - Check planting within 1 month of planting and at 3 monthly intervals thereafter for animal damage. If damage is identified animal guards (or fencing if more cost effective) are to be fitted to all plants and any plants lost or damaged replaced in the next planting season after damage occurs.



**Planting Schedule**

Native Hedgerow Mix		Plant in single species groups of 3-5		%	Specification C= Container B= Barefoot	Density				
No.	Abb.	Species	Common Name							
803	AcC	Corylus avellana	Common Hazel	30	1+1 Transplant - seed raised Branched 2 brks B	1m <sup>2</sup>				
803	MaTr	Crataegus monogyna	Common Hawthorn	30	1+1 Transplant - seed raised B	0.3 Ctr Double staggered at 0.3m offset				
535	QuRo	Ilex aquifolium	Common Holly	20	Bushy 2 Brks C	0.3 Ctr Double staggered at 0.3m offset				
535	SoA	Prunus spinosa	Blackthorn	20	1+1 Transplant - seed raised Branched 2 brks B	0.3 Ctr Double staggered at 0.3m offset				
<b>Total: 2124 No.</b>										
Woodland Mix		Common Name		%	Specification C= Container B= Barefoot	Density				
No.	Abb.	Species								
158	AcC	Prunus spinosa	Common Hawthorn	10	1+1 Transplant - seed raised Branched 2 brks B	1m <sup>2</sup>				
235	QuRo	Crataegus monogyna	Common Hawthorn	15	1+1 Transplant - seed raised B	1m <sup>2</sup>				
235	SoA	Corylus avellana	Common Hazel	15	1+1 Transplant - seed raised Branched 2 brks B	1m <sup>2</sup>				
158	QuRo	Ilex aquifolium	Common Holly	10	Bushy 2 Brks C	1m <sup>2</sup>				
235	AcC	Acer campestre	Common Maple	15	Whip 1+1 RB Clear stem 150-175 1 brks	1m <sup>2</sup>				
80	AcC	Acer campestre	Common Maple	5	Selected standard 4 brks 2x RB Clear stem min 200mm	1m <sup>2</sup>				
235	QuRo	Quercus robur	Common Oak	15	Whip 1+1 RB Clear stem 150-175 1 brks	1m <sup>2</sup>				
80	QuRo	Quercus robur	Common Oak	5	Selected standard 4 brks 2x RB Clear stem 175-200cm	1m <sup>2</sup>				
158	SoA	Viburnum opulus	Guelder Rose	10	1+1 Transplant - seed raised Branched 2 brks B	1m <sup>2</sup>				
<b>Total: 1574 No</b>										
Extra Heavy Standards		Common Name		Form	Age	Girth	Height(cm)	Root Cond.	Breaks	Clear stem height(cm)
No.	Abb.	Species								
17	AcC	Acer campestre	Field maple	Extra Heavy Standard	3x	14-16	425-600	Rootballed	5.6 or 7	min 200
8	MaTr	Malus trilobata	Mediterranean Crab Apple	Extra Heavy Standard	3x	18-20	425-500	Rootballed	5.6 or 7	min 200
10	QuRo	Quercus robur	Common Oak	Extra Heavy Standard	3x	14-16	425-600	Rootballed	5.6 or 7	min 200
5	QuRu	Quercus rubra	Red Oak	Extra Heavy Standard	3x	14-16	425-600	Rootballed	5.6 or 7	min 200
15	SoA	Sorbus aria	Whitebeam	Extra Heavy Standard	3x	14-16	425-600	Rootballed	5.6 or 7	min 200
Hedgerow trees		Common Name		Form	Age	Girth	Height(cm)	Root Cond.	Breaks	Clear stem height(cm)
No.	Abb.	Species								
8	AcC	Acer campestre	Field maple	Standard(Selected)	2x	10-12	300-350	Rootballed	5	min 200
4	QuRo	Quercus robur	Common Oak	Standard(Selected)	2x	10-12	300-350	Rootballed	5	min 200
Grass		Common Name		Form	Age	Girth	Height(cm)	Root Cond.	Breaks	Clear stem height(cm)
No.	Abb.	Species								
Sports grass - Hard wearing sports grass to be confirmed by specialist										
General amenity grass - A22 (Low maintenance seed mix) from British Seed Houses (or similar approved)										
Species rich grassland - WFG4 (Neutral soils seed mix) from British Seed Houses (or similar approved)										

**For Planning**

The Manor, Shinfield (UoR South of the M4)

The Manor Open Space Landscape Plan

Date: 18.06.15 Scale: 1:500@A0 Drawn by: AFS Checked by: CH

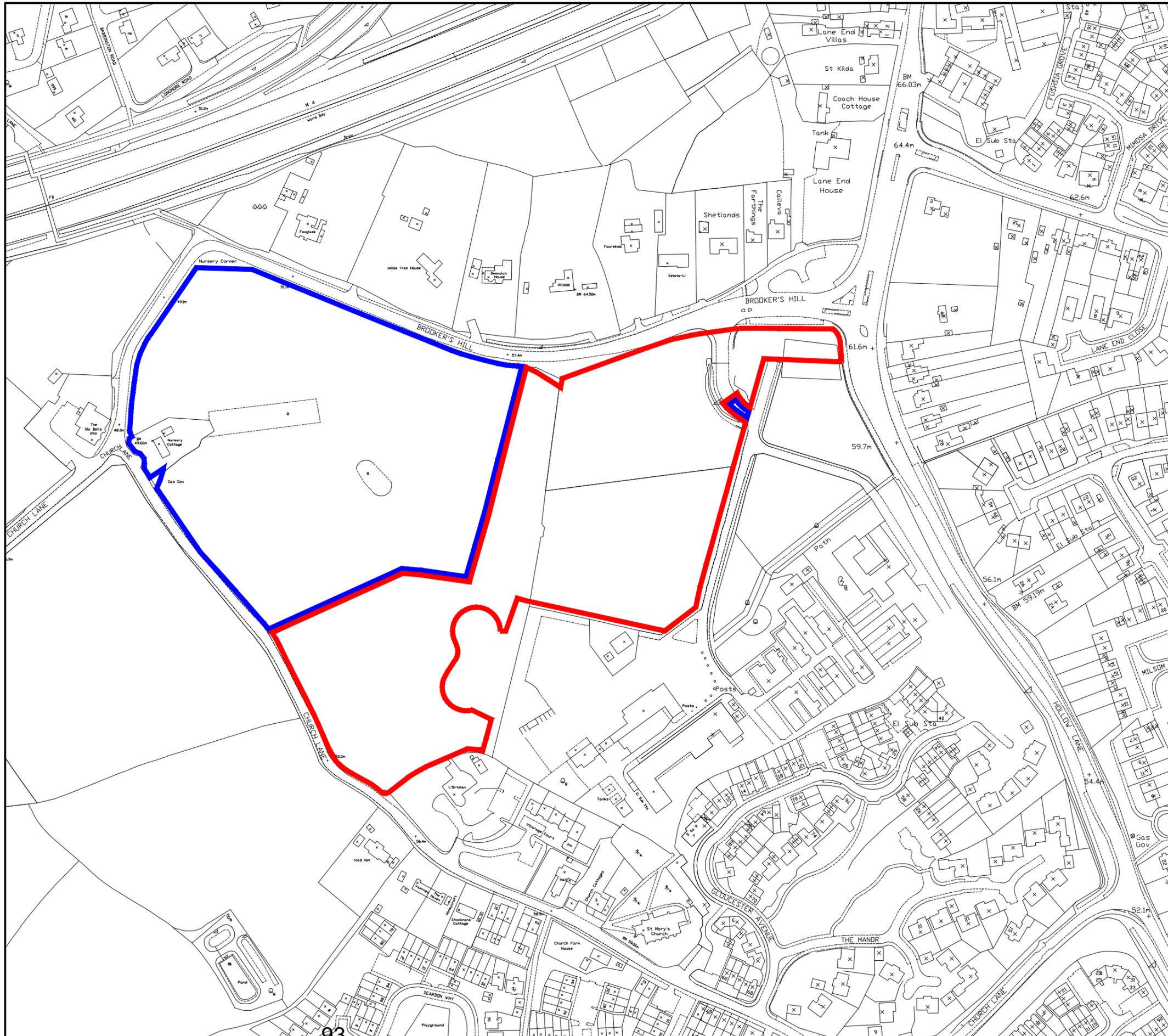
Project No: 24262 Drawing No: RG-1-207 Revision: D

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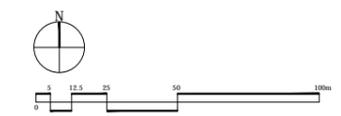


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Revision \_\_\_\_\_ Date \_\_\_\_\_ Drn \_\_\_\_\_ Ckd \_\_\_\_\_

**Legend**

- Application Boundary
- Other land within the applicants ownership



Project  
**The Manor, Shinfield**  
 (UoR South of M4)  
 Drawing Title  
**Site Boundary Plan**

Date	Scale	Drawn by	Check by
09.12.15	1:2500@A3	CH	JH
Project No	Drawing No	Revision	
24262	RG-L-208	-	

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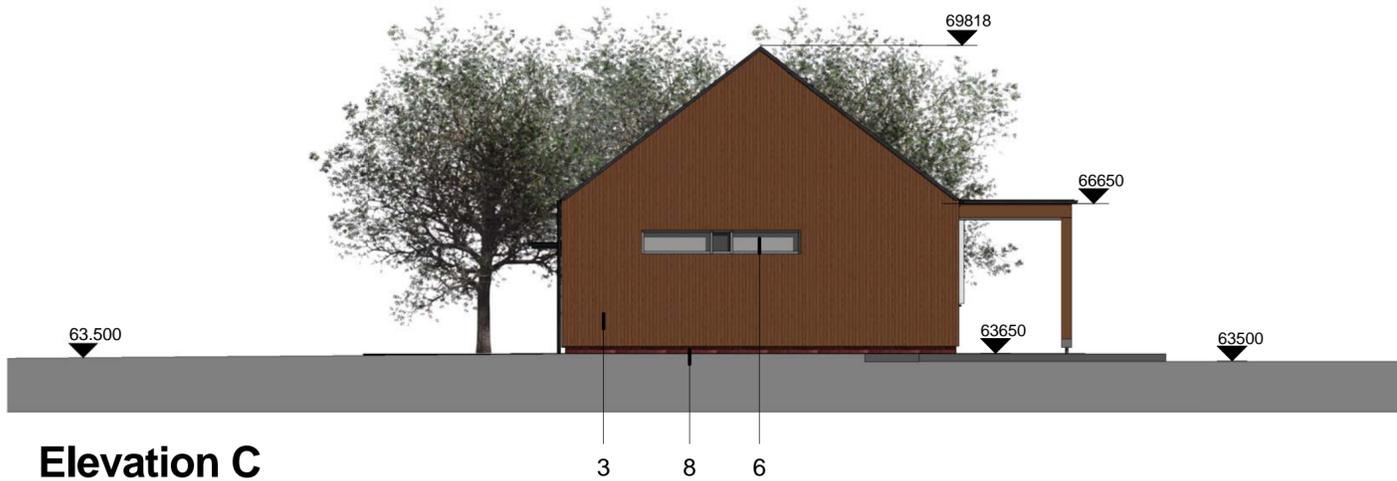
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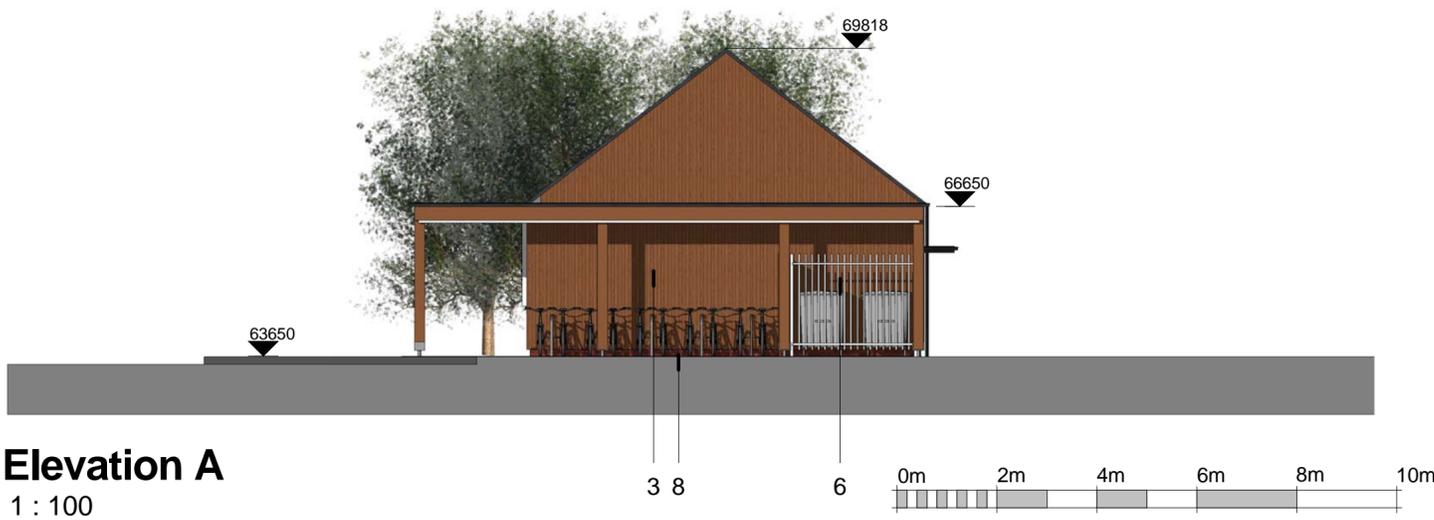
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**Elevation B**  
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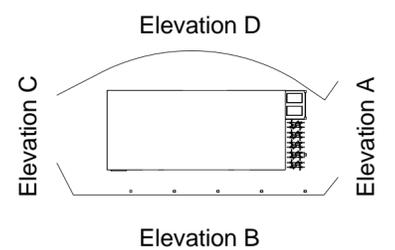
**Elevation C**  
 1 : 100



**Elevation A**  
 1 : 100

**LEGEND:**

- ① Slate roof
- ② Galvanised steel rainwater goods
- ③ Vertical timber cladding
- ④ Timber structure canopy
- ⑤ Zinc roof
- ⑥ PPC aluminium double glazed windows colour: dark grey
- ⑦ PPC aluminium glazing and doors
- ⑧ Brick plinth to base of timber cladding
- ⑨ Painted steel gates to bin store



Project  
**The Manor, Shinfield**

Drawing Title  
**Elevations**

Date	Scale	Drawn by	Check by
08/24/15	As indicated @ A2	EM	PN
Project No	Drawing No	Revision	
24941	RG-A-02		

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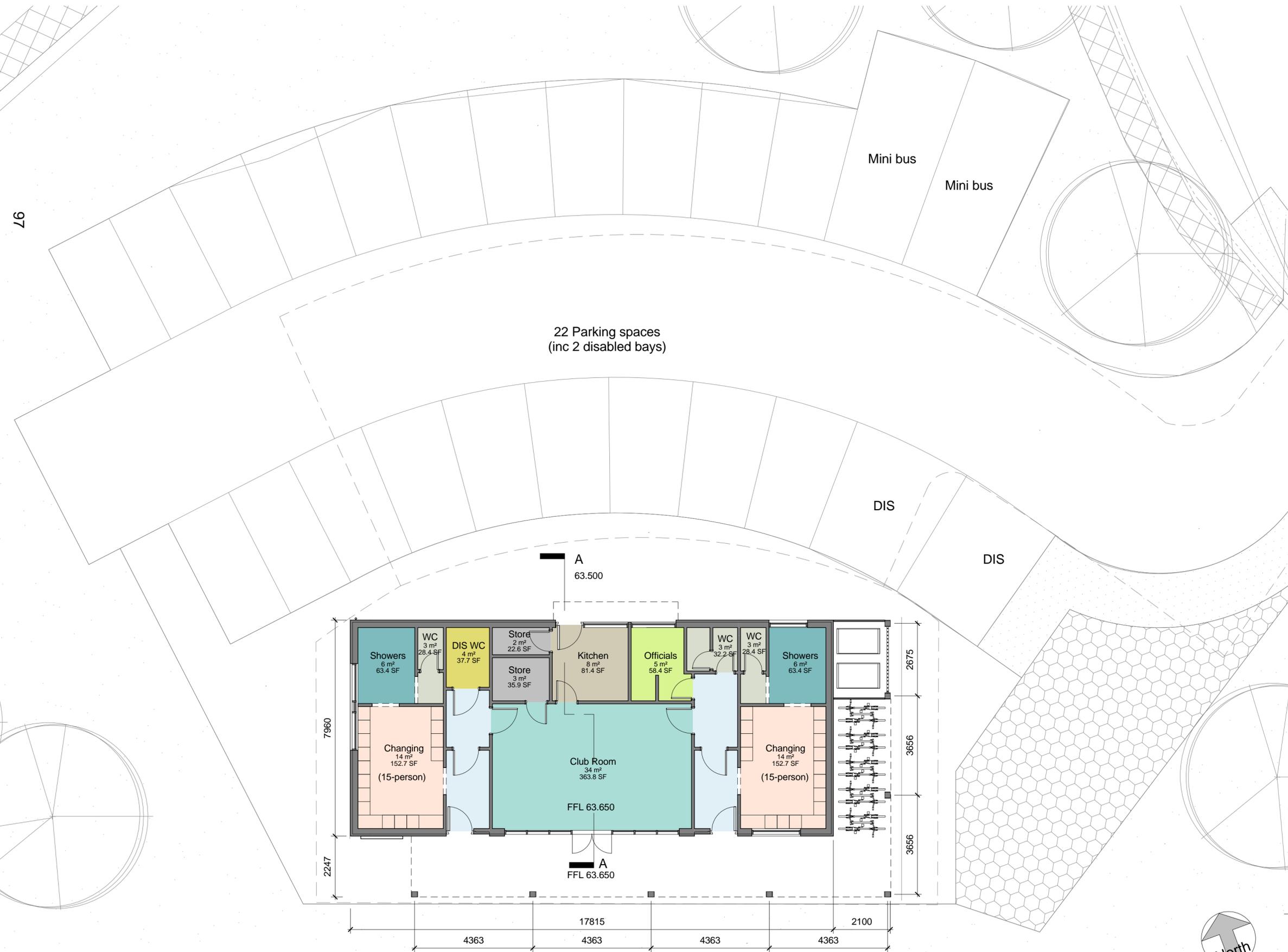
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**Ground Floor Plan**  
 1 : 100

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Project  
**The Manor, Shinfield**

Drawing Title  
**Ground Floor Plan**

Date  
 06/02/15

Scale  
 1 : 100 @ A2

Project No  
 24941

Drawn by  
 EM

Check by  
 PN

Revision



VISUAL SCALE 1:100 @ A2

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J:\24000 - 24999\24900 - 24999\24941 - The Manor Retained Land\A4 - Dwgs & Registers\Arch\Revit\24941 Sports Pavilion 151126.rvt

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# Agenda Item 8.

<b>Development Management Ref No</b>	<b>No weeks on day of committee</b>	<b>Parish</b>	<b>Ward</b>	<b>Listed by:</b>
160421	6/13	Wokingham Town	Wescott	Major app.

**Applicant** Mr Tim Searle (Wokingham Borough Council)  
**Location** St Crispin School, London Road **Postcode** RG40 1SS  
**Proposal** Full planning application for the erection of a 2 storey sixth form block, the creation of a new staff parking area via Rances Lane, alterations to the existing car park, provision of a new MUGA (Multi Use Games Area), and use of the existing Sixth Form as a new ASD Unit involving the erection of 2 Canopies and the provision of a drop off area.  
**Type** Major (all other developments)  
**PS Category** PS6  
**Officer** Katie Herrington

**FOR CONSIDERATION BY** Planning Committee on 27/05/2016  
**REPORT PREPARED BY** Head of Development Management and Regulatory Services

## SUMMARY

1. The application relates to a school that includes a Grade II Listed Building. The site comprises of several linked and detached classrooms and has a large playing field to the rear.
2. The proposal would provide an ASD (Autism Spectrum Disorder) unit not currently available at St. Crispin's, and the increasing need for sixth form spaces within the Borough. The proposal also includes a multi use games area (MUGA).
3. The ASD centre would be located in the current sixth form block, the internal spaces are to be refurbished, with the erection of canopies for a sheltered seating area. The centre aims to create an environment that would feel safe and quiet for the students, with a drop off zone for students, and separate visitor and school entrances.
4. The new sixth form building would accommodate the existing and proposed pupil base at the school. The building would provide enhanced educational facilities that include new and additional classrooms and a large common room.
5. The MUGA would be similar to that approved under F/2011/1920.
6. Whilst the proposal would increase the number of sixth form students and teachers, the proposed new car park via Rances Lane would provide access and parking for teaching staff only.
7. The proposal provides parking spaces for teaching staff only. Whilst, it is WBC policy that 1 space per 5 students should be provided, the school would, (**via condition 5**), take responsibility for students parking on site or in the surrounding area through their the punitive policies within their Code Of Conduct, along with a new travel plan. Whilst not complying with parking standards, the concerns with regard to student parking would be addressed through the school itself, and

therefore acceptable in this instance.

8. This application is before the Planning Committee because it is a Major planning application. It is also submitted on behalf of Wokingham Borough Council.
9. For the reasons discussed below, the proposed development is in general accordance with local and national planning policies and therefore is recommended for approval.

#### **PLANNING STATUS**

- Listed Buildings (Grade II)
- Major Development location

#### **RECOMMENDATION**

**That the application is approved subject to the following conditions;**

**A. Conditions and informatives:**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.  
*In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*
2. This permission is in respect of the submitted application plans and drawings

5141836-ATK-PLANNING-0100 rev A1  
5141836-ATK-PLANNING-0101 rev A2  
5141836-ATK-PLANNING-0103 rev A2  
5141836-ATK-PLANNING-0105 rev A2  
5141836-ATK-PLANNING-0106 rev A2  
5141836-ATK-PLANNING-0110 rev A1  
5141836-ATK-PLANNING-0111 rev A1  
5141836-ATK-PLANNING-0112 Rev A1  
5141836-ATK-PLANNING-0113 rev A2  
5141836-ATK-PLANNING-0114 rev A1  
5141836-ATK-PLANNING-0120 rev A1  
5141836-ATK-PLANNING-0121 rev A1  
5141836-ATK-PLANNING-0122 rev A1  
5141836-ATK-PLANNING-0130 rev A1

received by the local planning authority on 16/03/2016. And plan

5141836-ATK-00-DR-A-0115 P1

received on the 12/04/20146;

and plan;

5141836-ATK-PLANNING-0123 Rev A2

5141836-ATK-PLANNING-0107 Rev A3

Received on the 20/4/2016, and plans;

5141836-ATK-PLANNING-0124 Rev A1

5141836-ATK-PLANNING-0125 Rev A1

Received on the 29/4/2016

Plans;

5141836-ATK-PLANNING-0102 Rev A6

5141836-ATK-PLANNING-0104 rev A4

Received on the 10/05/2016.

The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

3. No development shall take place until a scheme of phasing of construction has been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the agreed scheme of phasing.

*Reason: In the interest of residential amenity and highway safety.*

4. Prior to the commencement of the development a Travel Plan shall be submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

*Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.*

5. In accordance with the Transport Statement (revision 4 - REPORT 70015980 – TS001) and the St. Crispins Code of Conduct, no students shall park motor vehicles on the school site. Any parking of motor vehicles onto the school site shall be dealt with in accordance with the provisions within the schools Code of Conduct.

*Reason: In the interest of highway safety and residential amenity.*

6. No part of the development shall be occupied until the approved Transport Statement, including the management of the ASD drop off, and opening of the Westmead Gate has been implemented.

*Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policy CP6.*

7. No building shall be occupied until details of the gate and access restrictions to

the entrance between Westmead and St. Crispin's school has been submitted and approved by the Local Planning Authority. Such provision shall be permanently so-retained and access shall be restricted to staff of St. Crispin's only.

*Reason: In the interest of highway safety and residential amenity.*

8. Prior to the commencement of the development hereby permitted details of secure and covered bicycle storage/ parking facilities for the occupants of and visitors to the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.  
*Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 4 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*
9. No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans (other than those parking bays within the Westmead site that are subject to another condition). The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.  
*Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*
10. No part of any building(s) hereby permitted shall be occupied or used until vehicle parking and turning space with the Westmead Day Care site has been provided in accordance with details to be submitted to and approved in writing by the local planning authority. The vehicle parking and turning space so-approved shall be retained in accordance with the approved details and the parking space remain available for the parking of vehicles at all times and the turning space shall not be used for any purpose other than vehicle turning.  
*Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.*
11. Before the development hereby permitted is commenced, samples and details of the materials to be used in the construction of the external surfaces of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.  
*Reason: To ensure that the external appearance of the building is satisfactory.*

*Relevant policy: Core Strategy policies CP1 and CP3*

12. Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

*Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)*

13.

- a. No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b. No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c. No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d. The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and

obtained.

*Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and [Managing Development Delivery Local Plan policies CC03 and TB21*

14. Before the development hereby permitted is commenced details of all acoustic fences to the boundary with 1A to 3 Chedwode Close, along the side boundary of the Westmeade Day Care Centre, and to the boundary of 'the Croft' shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

*Reason: In the interests of residential amenity.*

*Relevant policy: Core Strategy policies CP1, and CP3.*

15. Development shall not begin until clarification has been made of where the MUGA area drains to and soakage test results as well as calculations for the sizing of the soakaway have been submitted to and approved in writing by the Local Planning Authority.

*Reason: This is to ensure that this development does not increase flood risk on or off site especially as the area is already prone to surface water flooding.*

16. The use of the MUGA hereby permitted shall not operate other than between the hours of 07:30 and 19:00 Mondays to Fridays, 08:00 and 18:00 Saturdays, 10:00 and 18:00 Sundays and Bank or National Holidays.

*Reason: To safeguard residential amenities. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.*

17. The floodlights for the MUGA hereby permitted shall not be illuminated outside of the hours of 19:30 and 07:30 Mondays to Fridays, 18:30 and 08:00 Saturdays and 10:00 and 18:30 Sundays or Bank or National Holidays.

*Reason: In the interests of the amenities of the area. Relevant policy: NPPF Section 7 (Requiring Good Design), Core Strategy policies CP1 & CP3 and Managing Development Delivery Local Plan policy TB19*

18. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development,
- iv) the erection and maintenance of security hoarding including decorative

- v) displays and facilities for public viewing, where appropriate,
- vi) wheel washing facilities,
- vii) measures to control the emission of dust and dirt during construction, a scheme for recycling/disposing of waste resulting from demolition and construction works.

*Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.*

19. No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

*Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.*

20. Prior to the commencement of development a scheme for generating 10% of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources (as defined in the glossary of Planning Policy Statement: Planning and Climate Change (December 2007) or any subsequent version) shall be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented before the development is first occupied and shall remain operational for the lifetime of the development.

*Reason: To ensure developments contribute to sustainable development. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1, Managing Development Delivery Local Plan policy CC05 & the Sustainable Design and Construction Supplementary Planning Document.*

## PLANNING HISTORY

Lengthy planning history, of most relevance are;

- F/2011/1920. Proposed erection of two storey building to contain 9 Science laboratories, a multi-use space, a lecture forum, prep rooms, toilets and staff area with an internal courtyard covered by 2 storey high flat roofed steel frame canopy. Provision of a new hard play area to create 4 new tennis courts. Approved. 04/01/2012.

## SUMMARY INFORMATION

Existing number of sixth form pupils	196 (Max 220)
Proposed number of sixth form pupils	+ 80 (= 300 Max)
Existing number of ASD students	0
Proposed number of ASD students	26

Total existing number of teachers (FTE)	121
Total proposed number of teachers (FTE)	147
Proposed number of sixth form teachers (FTE)	+ 10
Proposed number of ASD teachers (FTE)	+16
Existing number of parking spaces	108 (+ 4 disabled and 2 minibus bays), 60 cycle bays.
Proposed number of parking spaces	147 (+ 8 disabled bays, 6 motorcycle bays, 2 mini bus spaces, and 32 cycle bays)
Proposed floor space	1396 (GIA)

### CONSULTATION RESPONSES

Environmental Health	No objection subject to <b>condition 16 and 17.</b>
Drainage	No objection subject to <b>condition 15.</b>
Conservation	No objection subject to <b>condition 11.</b>
Trees and Landscape	No objection subject to <b>conditions 12, and 13</b>
Education	No comments received.
Policy	No comments received.
Highways	<b>No objection, subject to condition 4, 5, 6, and 7</b>
Sports Development Team	No comments received.
Property Services	No comments received.
Wokingham Town Council	No objection, but concerned that use of the proposed new access will increase congestion on Rances Lane ( <b>See paragraph 23 +</b> ).
Local Members	No comments received.
Fire and Rescue	No objection: fire hydrants and sprinkler systems, requested. <i>Officers comment – these are a matter for building control.</i>
Historic England	No objection.
Sport England –	No objection.
Highways England	No objection.
Environment Agency	No objection.

### REPRESENTATIONS

<ul style="list-style-type: none"> <li>• 1 letter of support received</li> <li>• 4 letters of objections; <ul style="list-style-type: none"> <li>○ The existing MUGA is underused</li> <li>○ The MUGA would be closer to the flats at the Croft (within 20 metres) – seeks improvements to the boundary fence to stop short cuts into the school. <b>See para 36 and condition 16, 17 and 14.</b></li> <li>○ Concerns with the safety of the customers at Westmead – additional vehicles may leave them feeling distressed and anxious. <b>See section 32-34.</b></li> <li>○ Concern that scheme could conflict with Westmead extending its hours</li> </ul> </li> </ul>
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- Revised parking bays for Westmead site need to include space for a tail lift. **Condition 10.**
- Concern of safety issues during construction hours/ associated vehicle movements to Westmead users. **See para 33 – and condition 18, and 19.**
- Raised inconsistencies between the Transport Statement and Design and Access Statement. – *Officer comment: issue resolved via new travel plan* **Condition 4 and revised Design and access statement (online).**
- Concerns about new parking close to property – **See condition 14.**
- Cars could overspill into Rances lane – **see paragraph 23 – 31**
- Cars will add to congestion in Rances Lane – **See paragraph 23-31**
- Plans do not include screening that was included in the condition for the Science Block - **See condition 14.**
- New car park is not necessary - rather than new parking, staff should be encouraged to use sustainable modes of transport. **See section 23 - 31.**
- Concern about motor vehicle noise, fumes and lighting affecting residential garden. **See para 39 and condition 14.**

## APPLICANTS POINTS

### *New ASD Centre*

The ASD (Autistic Spectrum Disorder) unit would be located in the current Sixth form building, and would provide a much needed facility for the expanding population of Wokingham.

The current sixth form building would be refurbished and would involve the erection of two canopies, one to its rear and one to the front. A drop off area would be located to the front of the sixth form, managed by the school to accommodate special taxis to take the ASD pupils to and from the unit.

### *New sixth form*

The building would be adjacent to the Science block and Grade II listed school buildings. The new building accommodates an increase of sixth form student numbers, necessary given the increasing need for sixth form places.

The building has been designed to provide a modern building that nods to the prevailing design of the existing Grade II listed buildings. The facades would consist of white panels to replicate the curtain walling of the other school buildings, and the windows would adopt the proportions of those used in the original building.

### MUGA

A new MUGA is proposed on the playing field southwest of the existing school buildings. This is similar to that as approved as part of the science block application (F/2011/1920).

### *New car park (Via Rances Lane)*

To accommodate the increased teacher numbers as a result of the ASD centre and Sixth form, it is proposed to reorganise the spaces on the existing car park to

accommodate additional bays, and to have a new staff car park off Rances Lane. The car park from Rances Lane could only be accessed by staff via a passcode system. There would no other way of accessing the school from this area.

It is school policy to not allow sixth form students to park on the site. However, along with a new travel plan to encourage sustainable forms of travel, the school will enforce such policy through their Code of Condition supported by a new travel plan.

## PLANNING POLICY

National Policy	<b>NPPF</b>	National Planning Policy Framework	
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development	
	<b>CP2</b>	Inclusive communities	
	<b>CP3</b>	General Principles for Development	
	<b>CP4</b>	Infrastructure Requirements	
	<b>CP6</b>	Managing Travel Demand	
	<b>CP7</b>	Biodiversity	
	<b>CP9</b>	Scale and Location of Development Proposals	
	Adopted Managing Development Delivery Local Plan 2014	<b>CC01</b>	Presumption in Favour of Sustainable Development
		<b>CC02</b>	
		<b>CC03</b>	Green Infrastructure, Trees and Landscaping
<b>CC04</b>		Sustainable Design and Construction	
<b>CC05</b>		Renewable Energy and Decentralised Energy Networks	
<b>CC06</b>		Noise	
<b>CC07</b>		Parking	
<b>CC09</b>		Development and Flood Risk	
<b>CC10</b>		Sustainable Drainage	
Supplementary Planning Documents (SPD)		<b>TB21</b>	Landscape Character
	<b>TB23</b>	Biodiversity and Development	
	<b>TB24</b>	Heritage Assets	
	<b>BDG</b>	Borough Design Guide	

## PLANNING ISSUES

### Description of development and site

1. The scheme is for the erection of a 2 storey sixth form block, the creation of a new staff parking area via Rances Lane, alterations to the existing car park, provision of a new MUGA (Multi Use Games Area) and use of the existing sixth Form as a new ASD (Autism Spectrum Disorder) Unit involving the erection of 2

canopies and the provision of a drop off area.

2. The proposal is within the grounds of a 1953 School building, constructed of precast concrete panels bolted to a lightweight steel frame. This is a grade 2 listed property and has been listed for its early demonstration of the way these prefabrication techniques could be applied to multi-storey buildings.
3. The proposal would facilitate the need for an ASD (Autism Spectrum Disorder) unit not currently available at St. Crispin's, and the increasing need for sixth form spaces within the Borough.
4. The ASD centre would be located in the current sixth form block, the internal spaces are to be refurbished, with the erection of canopies for a sheltered seating area. The centre aims to create an environment that would feel safe and quiet for the students, with a drop off zone for students, and separate visitor and school entrances.
5. The new sixth form building would accommodate the existing and proposed pupil base at the school. The building would provide with enhanced educational facilities that include new and additional classrooms and a large common room.

#### Principle of Development

6. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
7. Paragraph 72 of the NPPF states that great importance should be attached to ensuring that sufficient choice of school places are available to meet the needs of existing and new communities. It also states that Local Planning Authorities should take a proactive, positive and collaborative approach to meeting this requirement, and should look to approve development that will widen choice in education. The NPPF states that weight should be given to the need to create, expand or alter schools.
8. The site is located within a major development location and within a settlement boundary and as such the development should be acceptable providing that it complies with the principles stated in the Core Strategy. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers and this is discussed below.
9. Given the national and local policy context, it is considered that the proposal would be acceptable subject to other material considerations. These include no adverse impact on character of the area or setting of the listed building, the retention of suitable play space, and no adverse impacts on traffic, highways safety, neighbouring amenity, biodiversity, or sustainability.

## Impact upon the Character of the Area:

### *Sixth form block*

10. The proposed two storey sixth form block would present a large new feature on the site, and would be seen from London Road and various other points and properties around the site. The design of the building has been carefully considered to respect the existing built forms of the site.
11. The siting of the proposed sixth form helps reduce the impact of its massing upon the locality. It would be positioned well back from London Road reducing its visual impact, and would be located close to the existing science block (F/2011/1920). This location would enable views of the building within the site, to provide some sense of connectivity.
12. The existing school buildings are characterised by buildings with concrete curtain wall panels, flat roofs and crittall style windows.
13. The proposal is a modern interpretation of the modular external appearance and replicates this prevailing character. The facades are designed to a grid, with the materials chosen a mixture of white and grey panels, and windows are a similar design to those used in the original cluster of buildings. Samples of materials are sought as part of **Condition 11**. As such, the proposal would be in keeping with the character of the existing buildings.



### *ASD Centre*

14. The Proposed ASD centre will be accommodated in the existing sixth form centre. The external changes to be made relate only to the erection of two canopies, one to the front entrance, and one above an existing seating area to the back of the building. The canopy would be white and would relate to the canopy used on the science block (approved under F/2011/1920). Given the limited nature of these changes, there would be no harmful impact on the character of the existing buildings.



## *MUGA*

15. The MUGA would be set well back into the school complex, and would be a feature expected within the grounds of a school. The MUGA, in a similar form, had received planning permission as part of the application for the Science block (F/2011/1920). Whilst views of the MUGA may be had from the surrounding residential area, most views would be screened via the bank of trees/hedging surrounding the site. Concerns were raised regarding noise from the MUGA to 'The Croft' and an acoustic fences have been conditioned (**Condition 14**).
16. As such, the proposal would not be harmful to the character of the area, and is in accordance with policy CP1 and CP3 of the Core Strategy, and the Borough Design Guide.

## Impact upon the Listed Building and its setting

17. The proposal should not harm the setting or special character of the historic asset. The proposed sixth form is a modern interpretation of the modular external appearance of the earlier buildings, with a grid of panels similarly proportioned panels fixed onto a framework, and the flat roof profiles form a deep eaves in a similar form to the original. The windows are aluminium and rimmed with slim profiles, responding to the clean lines of the 1950's building. The overall design and proposed location would integrate well with the existing building phases and preserve the setting and special interest of the listed building. Samples of materials are sought as part of **Condition 11**.
18. The proposed ASD (Autistic Spectrum Disorder) centre proposes the erection of a canopy, and given its scale and massing, would not harm the setting of the listed building.
19. In terms of the MUGA (Multi Utility Games Area), there is a good level of separation from this and the main listed buildings which is sufficient to prevent harm to the historic asset. The MUGA, in a similar form, had received planning permission as part of the application for the Science block (F/2011/1920).
20. No objections have been received from Historic England or the Council's Conservation Officer.

## Trees and landscape

21. The Council's Trees and Landscape consultee has raised no objections to the proposal subject to **conditions 12 and 13** to protect trees during construction, boundary treatments, and details of soft and hard landscaping to strengthen the landscape features of the site.

#### Impact on playing fields/ provision of play space

22. The proposed sixth form would be located in an area of grassed land associated with the schools playing fields. However, the remaining sports area would be substantial and its usability not adversely impact as a result of the proposal. The MUGA would facilitate the playing of sport and as such would not result in the loss of play space. Sport England has raised no objection to the proposal.

#### Access and movement

23. The proposal would increase the number of sixth form student numbers and staff.

24. The council's parking standards require 1 parking space per full time member of staff. The proposal would result in 16 additional staff for the ASD centre, and an additional 10 members of staff for the proposed sixth form. The existing number of staff (FTE) is 121, and the proposal would increase this to 147. As 147 parking spaces would be provided across the renewed parking layout of the existing main car park, and the new proposed parking area via Rances Lane, this will meet this parking standard.

25. The council's parking standards also require the provision of 1 parking space per 5 post 17 year old student (i.e many of the sixth form students would be over 17). No sixth form parking is provided as part this proposal, which is contrary to the council's policy. However, instead the need the such parking provision is addressed by the schools policy which is enforced by their Code of Conduct and supported by a revised Travel Plan.

26. It is school policy to not allow sixth formers to park on the site or bring cars whilst at the sixth form. This is an existing situation and a policy that the school seek to maintain. In place of sixth form parking, the school will manage any onsite and offsite parking of sixth formers through their Schools Code of Conduct, setting out consequences for such behaviour. This is confirmed by way of condition (**Condition 5**). A revised travel plan (**Condition 4**) will also help students make use of existing public transport, cycle and walking routes. To clarify, sixth form students would not be able to access the Rances Lane car park due to the barrier in place (**Condition 7**).

#### *New staff car parking via Rances Lane*

27. The proposed car park would be accessed via the existing Rances Lane entrance through the Westmead Centre. The proposed parking area at St Crispin's would have 26 parking bays that would be accessible by staff only. The number of bays corresponds to the number of staff (FTE) resulting from the new ASD unit and increased size of the sixth form. The entrance to the car park would

be gated with key code access. There would be no unrestricted access by foot or bike into this part of the site. **(Condition 5, 6 and 7)**.

28. Concerns were raised about potential traffic conflicts and congestion along Rances lane and at the Westmead site. The side access from Rances Lane is currently used by staff and visitors to Westmead Day Service, a centre operated by Optalis that provides a range of services for the rehabilitation and respite care for adults with physical disabilities. At current the centre has a core group of 4 volunteers, but also has placements from schools, colleges and Supported Employment Services to assist with activities. The opening hours of the centre are between 9am – 4pm Monday – Thursday, and 9am-3pm on Friday. The school hours are between 9am – 3.30pm. Whilst this entrance is narrow, any potential traffic conflicts between the traffic movements by both the Westmead Day service and the staff at St. Crispins would be limited as there would be limited overlapping entrance and exit times i.e staff for St. Crispins school would tend to arrive before visitors to Westmead and tend to leave after visitors to Westmead. As such additional impact from cars waiting by the entrance and using this access would be minimal.

29. Whilst the additional vehicles would increase vehicular movements in the peak hour, it is not considered that the increase in traffic flow would be to the extent that it would result in adverse levels of congestion and issues of highway safety.

30. Therefore, issues with traffic conflicts would be minimal and not the extent that it would result in issues of highway safety or the free flow of traffic.

#### *Drop off area for the ASD centre*

31. The proposal would include a dedicated drop off and pick up area for the new ASD centre managed by the school. This would be operated by dedicated ASD vehicles who take the students to the school. During the day this area becomes a play area, and at the end of the day those vehicles pick the students up. Waiting bays are included to enable the free flow of movement. Entrance to the area is closed off via a barrier operated by the school. The details of the management of this space is detailed in the Transport Statement **(Condition 6)**.

#### Residential amenity

##### *Car park and access*

32. The proposal would result in a new staff park access via Rances Lane. Whilst there would be increased traffic movements along Rances Lane these would relate to staff only most traffic movements occurring during AM and PM peak hours and would not result in significant increases in noise to the extent that it would harm residential amenity.

33. Concerns have been raised with regard to the impact in terms of noise and disturbance to the users of the Westmead Centre both as a result of staff movements and as a result of construction vehicles. The bulk of vehicle movements would occur around the opening and closing times, limiting the

duration of any noise impact. Concerns with regard to the movement of construction vehicles can be dealt with a time restricting condition (**Condition 19**) and a construction management plan (**Condition 18**).

34. Concern was raised about noise disturbance of cars in the new proposed car park. The car park would be for staff only and would operate during the day. Whilst there would be additional noise such as car engines and the closing of doors, this would not be to the extent to result in significant harm to residential amenity given the general level of noise and activity in the context of a school. Acoustic fencing has been conditioned to reduce noise pollution to the neighbouring residential occupiers to the rear of Chetwode Close (**Condition 14**).

#### *Sixth form building*

35. The proposed new sixth form has been sited some 90 metres from the nearest residential dwelling and 78 metres from their garden boundary. The degree of separation is in excess of the guidance outlined in the Borough Design Guide for a two storey form of development.

#### *MUGA*

36. The MUGA was originally approved as part of the application for the science block (F/2011/1920). It would be sited in an area with an established use as school playing fields. Impacts in terms of noise disturbance and light spill can be controlled by conditions (**Conditions 14, 16 and 17**).

#### Sustainability

37. The proposal would provide a minimum of 10% reduction in carbon emissions through renewable energy or low carbon development, as demonstrated in the submitted Energy Statement in accordance with MDDD policy CC05 (**Condition 20**).

### **CONCLUSION**

The proposal would provide for a needed ASD centre, allow for the expansion of the sixth form and provide a MUGA, which is supported in principle. The MUGA would enhance the sport facilities at the school. The design of the sixth form building and canopies to the ASD centre are acceptable and would not have a harmful impact upon the Listed building or the character of the area. The proposal would result in an increase of staff numbers and the number of sixth form pupils. The additional parking provision for staff is accommodated through a new layout to the main car park, and a new staff only parking area via Rances lane. Whilst the proposal is not providing Sixth form parking, it can be conditioned that the school would take responsibility for the management of students together with a new travel plan. The proposal accords with the policies contained within the development plan and this application is recommended for

conditional approval.

<b>CONTACT DETAILS</b>		
<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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**From:** [Mike Dunstan](#)  
**To:** [Planning Enquiries](#)  
**Subject:** Comments on 160421 St Crispins School, London Road  
**Date:** 29 April 2016 09:15:59

---

**160421 St Crispins School, London Road**  
**Full Planning application for the erection of a 2 storey 6th form block, the creation of a new staff parking area via Rances Lane, alterations to the existing car park, provision of a new MUGA (Multi Use Games Area), and use of the existing Sixth Form as a new ASD (Autism Spectrum Disorder) Unit involving the erection of 2 Canopies and the provision of a drop off area.**  
**Planning Officer: Katie Herrington**

*Wokingham Town Council has considered this planning application and made no objection, but is concerned that use of the proposed new access road will increase congestion on Rances Lane.*

Regards

Mike Dunstan  
Planning & Transportation Officer

Wokingham Town Council  
Town Hall  
Market Place  
Wokingham  
RG40 1AS

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Direct Tel: 0118 974 0885  
[www.wokingham-tc.gov.uk](http://www.wokingham-tc.gov.uk)



Visit [www.whatsoninwokingham.co.uk](http://www.whatsoninwokingham.co.uk) for more information about Wokingham events in addition to the Farmers' Market and of course the weekly markets.

Thames and Chilterns in Bloom:  
Silver Gilt award winner 2015  
Regional award winner for 'Greener Streets: Better Lives' 2015.

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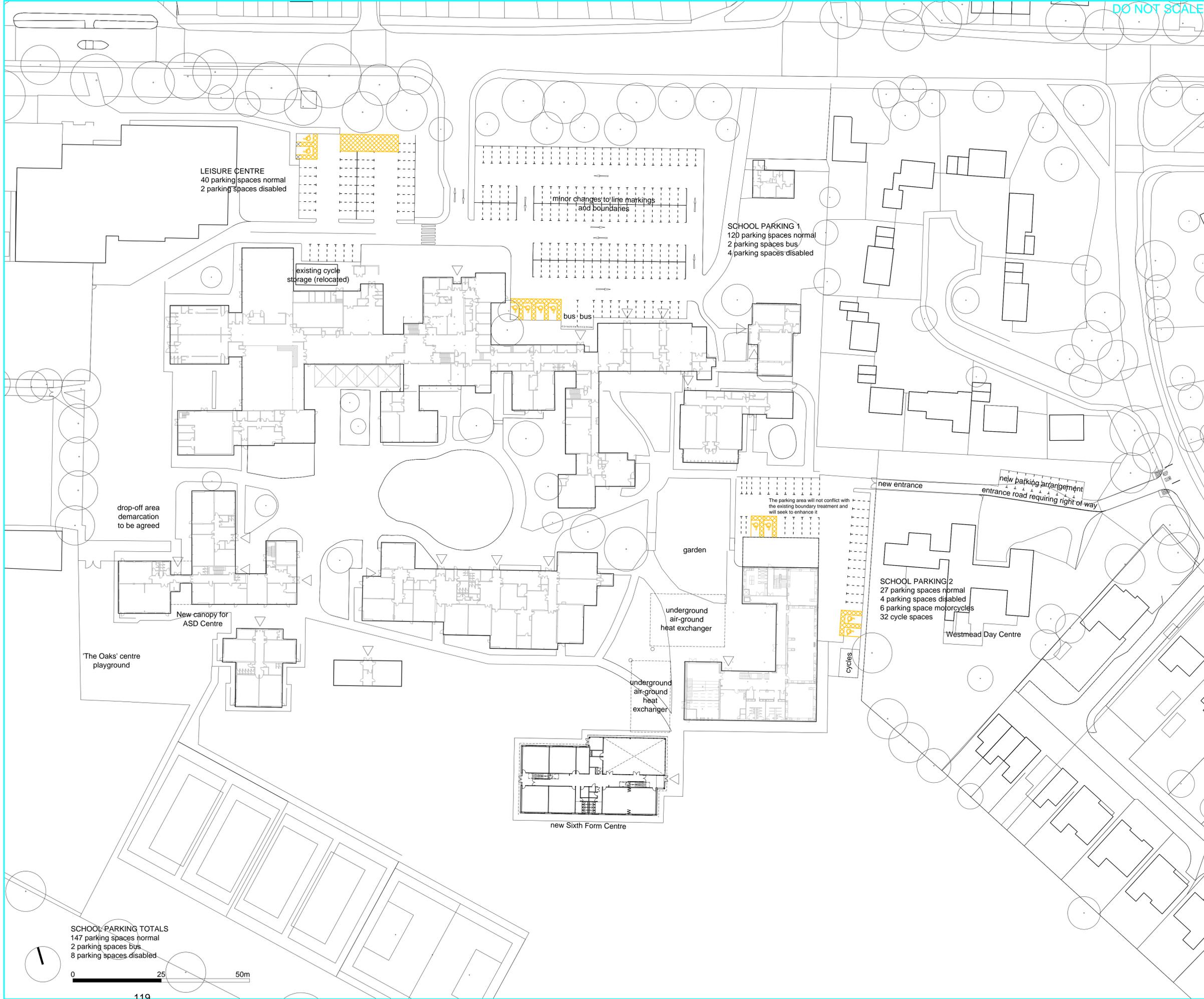
**CONSTRUCTION**

Plans are based on asset management / OS map drawings and are not to scale. All areas and dimensions are indicative and should be checked on site.

**MAINTENANCE/CLEANING**

**DECOMMISSIONING/DEMOLITION**

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement



Rev.	Date	Description	By	Chk'd	App'd
A6	5/8/16	Addition of note boundary treatment	MR	MR	CW
A5	4/14/16	Change to drop-off area	JN	MR	CW
A4	3/24/16	Addition of waiting area to drop-off area	JN	MR	CW
A3	3/14/16	Change to no. of parking spaces	JN	MR	CW
A2	2/19/16	Minor adaptations to pathways	JN	MR	CW
A1	2/5/16	First issue	MR	CW	CW

Drawing Status: **PLANNING** Submittal: **P**

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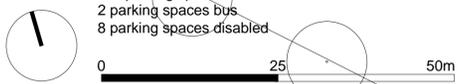
Client: **St. Crispin's Comprehensive School**  
Wokingham  
Sixth Form Centre / ASD Unit

Drawing Title: **Site Plan Proposed**

Scale	Designed	Drawn	Checked	Authorised
1:500	MR	MR	CW	PW
Original Size	Date	Date	Date	Date
A1	10/11/2015	10/11/2015	13/11/2015	13/11/2015

Drawing Number: **5141836-ATK-00-DR-A-0102** Revision: **A 6**

**SCHOOL PARKING TOTALS**  
147 parking spaces normal  
2 parking spaces bus  
8 parking spaces disabled









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**Disclaimer:**  
Plans are based on asset management drawings and are not to scale.  
All areas and dimensions are indicative and should be checked on site.

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**SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION**

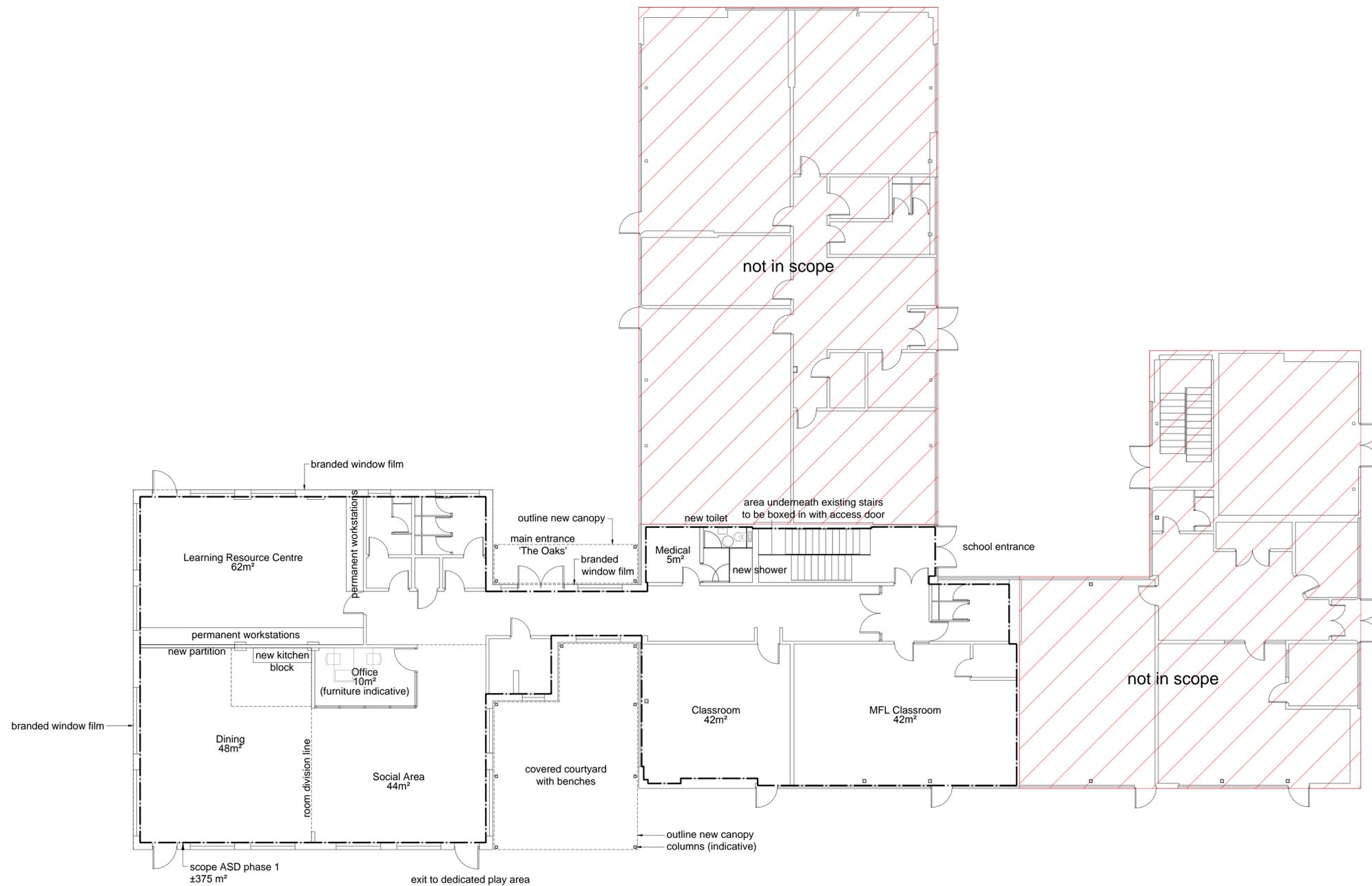
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**CONSTRUCTION**

**MAINTENANCE/CLEANING**

**DECOMMISSIONING/DEMOLITION**

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**PROPOSED GROUND FLOOR (ASD PHASE 1)**

Rev.	Date	Description	By	Chk'd	App'd
A1	28/16	First issue		MR	CW CW

Drawing Status	<b>PLANNING</b>	Subsity	<b>P</b>
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Client  
**St. Crispin's Comprehensive School**  
Wokingham  
Sixth Form Centre / ASD Unit

Drawing Title  
**ASD Unit**  
Plan  
Ground Floor (ASD Phase 1)  
Proposed

Scale	Designed	Drawn	Checked	Authorised
1:100	MR	MR	CW	PW

Original Size	Date	Date	Date	Date
A1	10/11/2015	10/11/2015	13/11/2015	13/11/2015

Drawing Number  
**5141836-ATK-00-DR-A-0112**

Revision  
**A 1**











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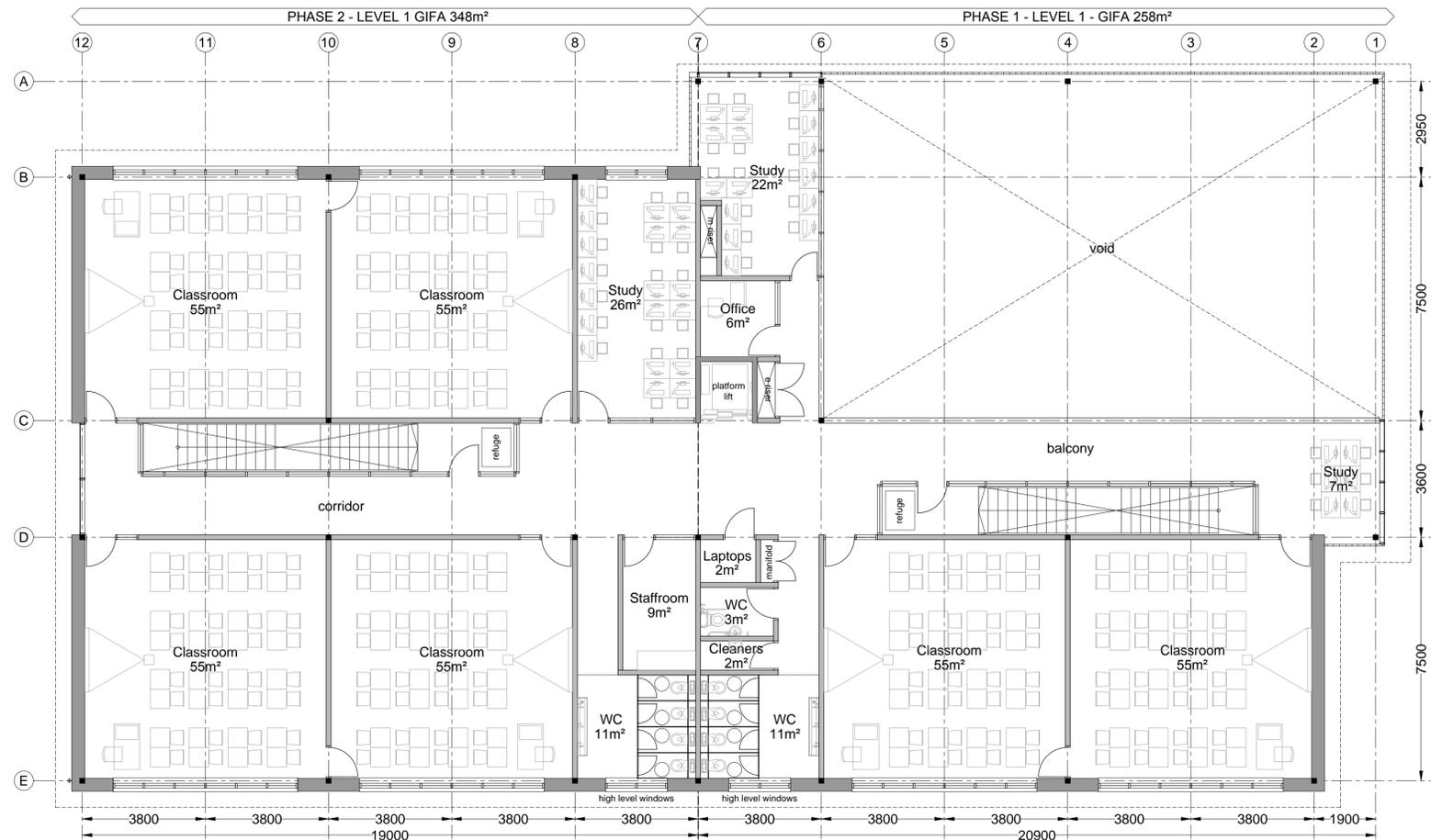
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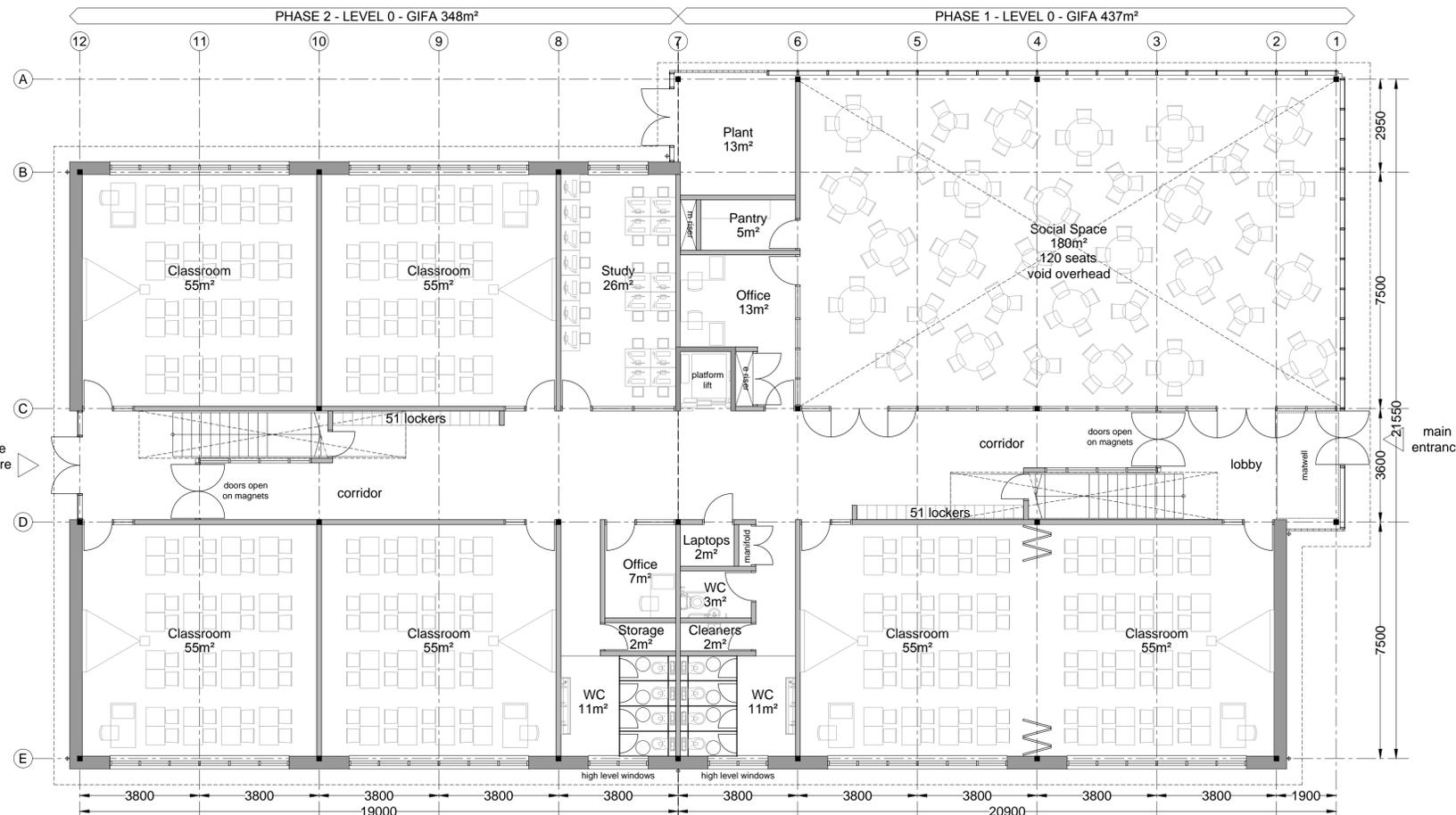
**MAINTENANCE/CLEANING**

**DECOMMISSIONING/DEMOLITION**

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement



**FIRST FLOOR**  
Furniture layouts indicative



**GROUND FLOOR**  
Furniture layouts indicative | 695m²(phase1)+696m²(phase2)=1391m²



Rev.	Date	Description	By	Chk'd	App'd
A1	25/16	First issue	MR	CW	CW

Drawing Status: **PLANNING** Subtitle: **P**

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Project Title: **St. Crispin's Comprehensive School  
Wokingham  
Sixth Form Centre / ASD Unit**

Drawing Title: **Sixth Form Centre  
Plans  
Ground and First Floor  
Proposed**

Scale	Designed	Drawn	Checked	Authorised
1:100	MR	MR	CW	PW
Original Size	Date	Date	Date	Date
A1	15/12/2015	16/12/2015	16/12/2015	16/12/2015

Drawing Number: **5141836-ATK-PLANNING-0120** Revision: **A 1**



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**SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION**

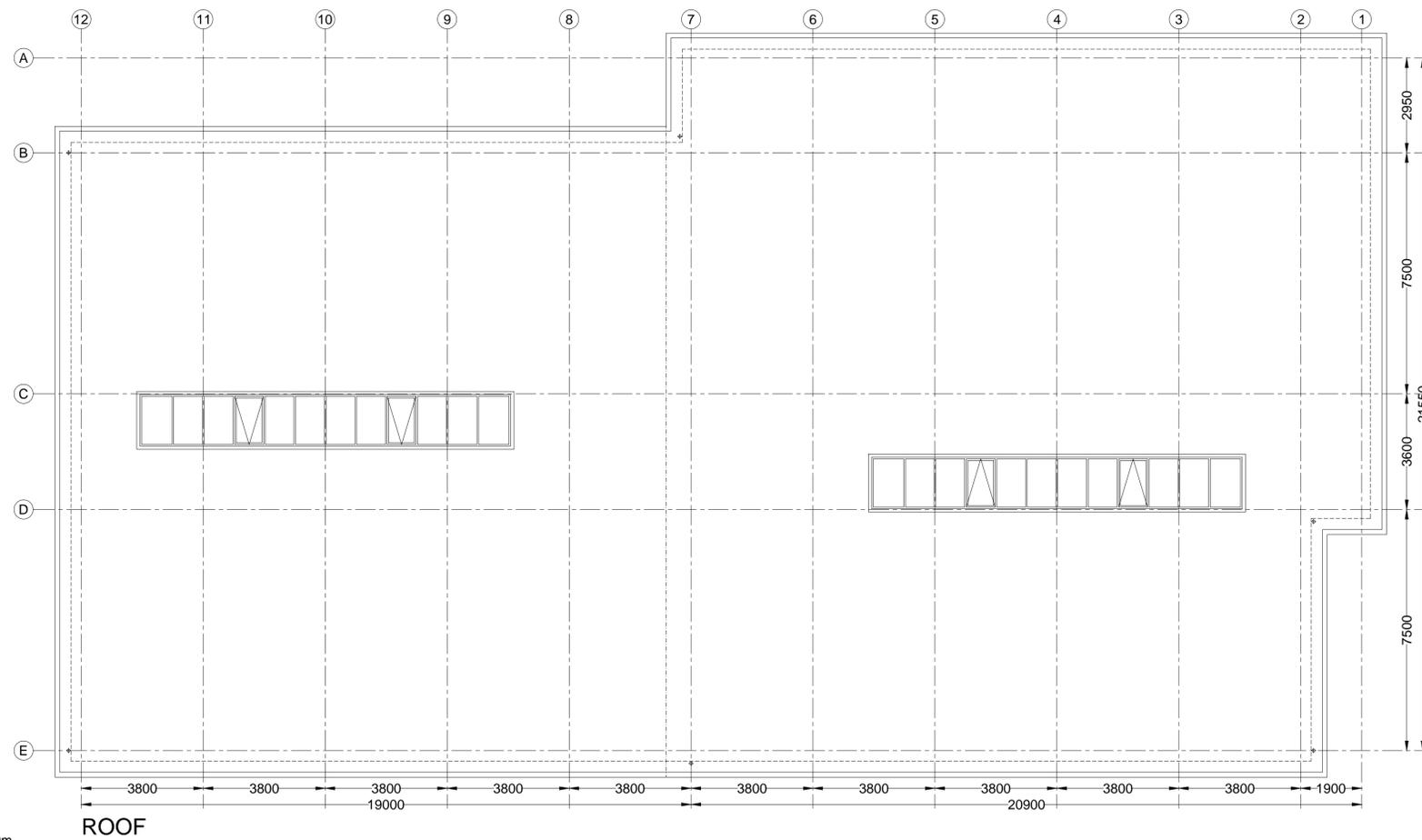
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CONSTRUCTION

MAINTENANCE/CLEANING

DECOMMISSIONING/DEMOLITION

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ROOF

Rev.	Date	Description	By	Chk'd	App'd
A1	25/16	First issue		MR	CW PW

Drawing Status	<b>PLANNING</b>	Subsidiary	<b>P</b>
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**WOKINGHAM**  
BOROUGH COUNCIL

Project Title  
St. Crispin's Comprehensive School  
Wokingham  
Sixth Form Centre / ASD Unit

Drawing Title  
Sixth Form Centre  
Plans  
Roof  
Proposed

Scale	Designed	Drawn	Checked	Authorised
1:100	MR	MR	CW	PW
Original Size	Date	Date	Date	Date
A1	12/01/2016	12/01/2016	12/01/2016	12/01/2016

Drawing Number	Revision
5141836-ATK-PLANNING-0121	A 1











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Millimetres

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**SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION**

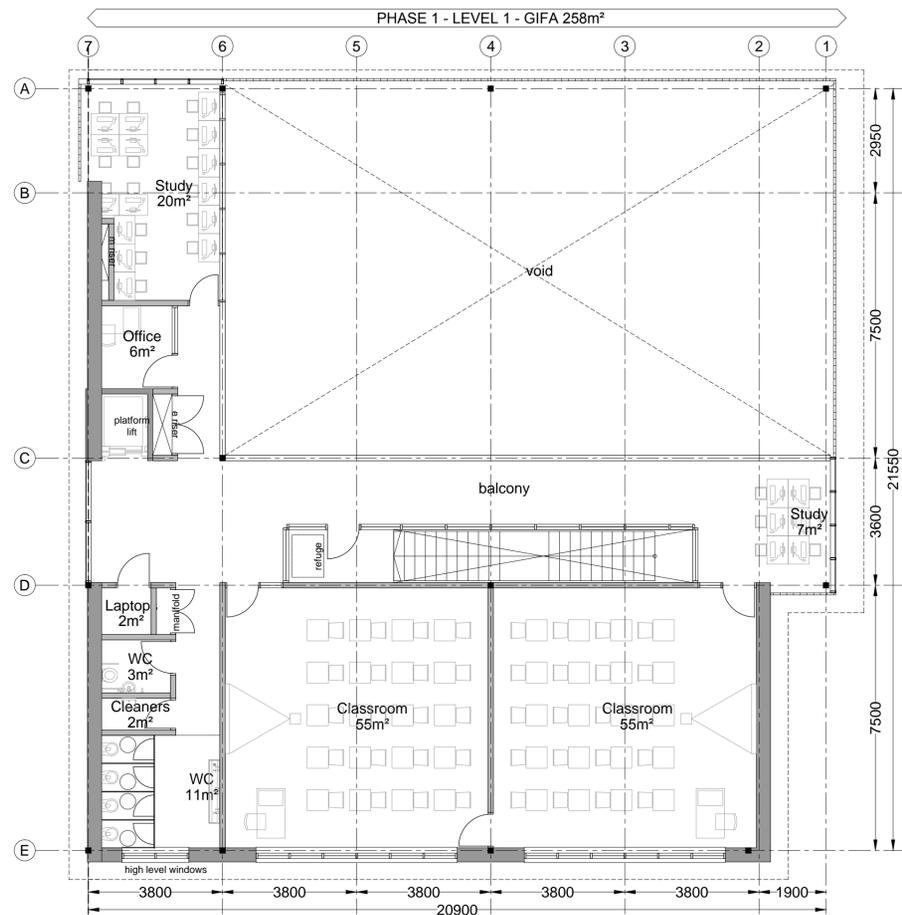
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**CONSTRUCTION**

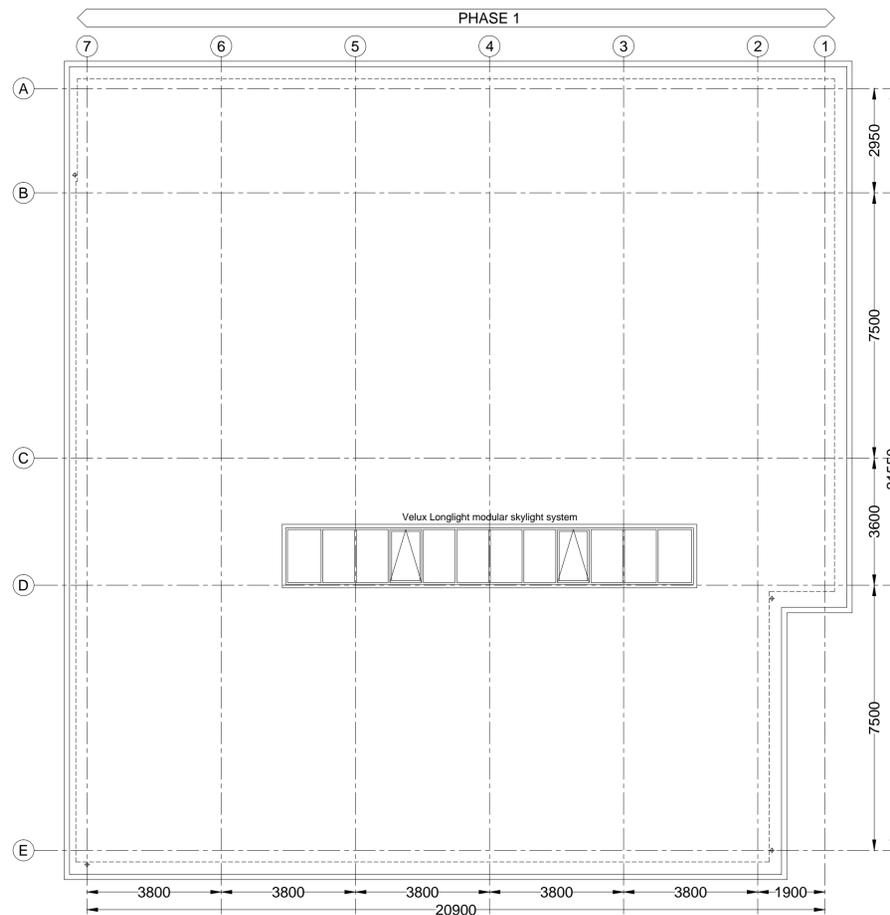
**MAINTENANCE/CLEANING**

**DECOMMISSIONING/DEMOLITION**

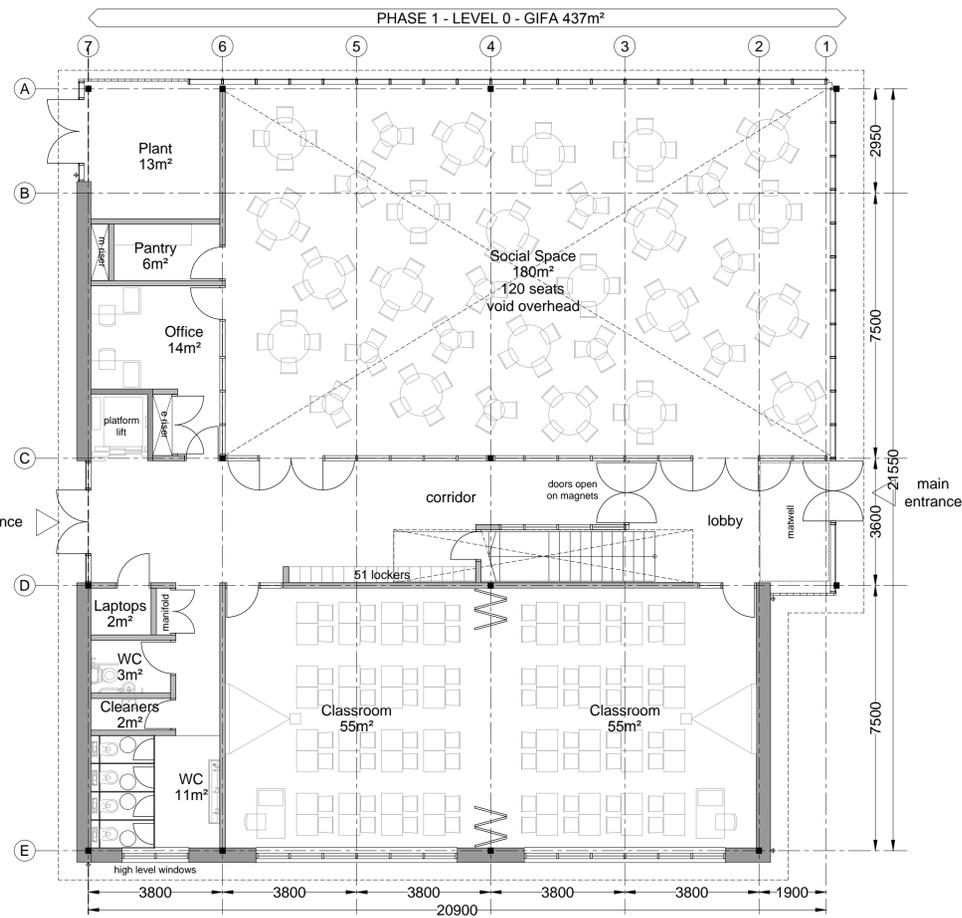
It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement



**FIRST FLOOR**  
Furniture layouts indicative; occupancy level 1 limited to 60 people in phase 1



**ROOF - PHASE 1**



**GROUND FLOOR**  
Furniture layouts indicative | 695m²(phase1)

Rev.	Date	Description	By	Chk'd	App'd
A1	4/22/16	First issue	MR	CW	CW

Drawing Status: **PLANNING** Substability: **P**

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Client: **St. Crispin's Comprehensive School**  
Wokingham  
Sixth Form Centre / ASD Unit

Drawing Title: **Sixth Form Centre Plans**  
Ground and First Floor and Roof  
Proposed - Phase 1 only

Scale	Designed	Drawn	Checked	Authorised
1:100	MR	MR	CW	PW
Original Size	Date	Date	Date	Date
A1	15/12/2015	16/12/2015	16/12/2015	16/12/2015

Drawing Number: **5141836-ATK-PLANNING-0124** Revision: **A 1**









# Agenda Item 9.

<b>Development Management Ref No</b> 160819	<b>No weeks on day of committee</b> 9/10 weeks	<b>Parish</b> Wokingham	<b>Ward</b> Evendons	<b>Listed by:</b> Scheme of Delegation
---------------------------------------------	------------------------------------------------	-------------------------	----------------------	----------------------------------------

**Applicant:** Mr Rajesh Varadarajan

**Location:** 6 Derwent Close, Wokingham

**Postcode** RG41 3UD

**Proposal:** Single storey rear extension to dwelling

**Type:** Householder application

**PS Category:** 21

**Officer:** Stephen Thwaites

**FOR CONSIDERATION BY REPORT PREPARED BY**

Planning Committee on 25<sup>th</sup> May 2016  
Head of Development Management and Regulatory Services

## SUMMARY

The application site is a two storey dwelling located in a cul-de-sac. The dwelling is semi-detached with No. 5 adjoining, and link-detached via its attached garage with No. 7. The application site is within the settlement boundary, and Derwent Close can be characterised as an informal suburban development of two storey dwellings.

The proposal is for the erection of a single storey rear extension to the existing dwelling which would consist of two elements. Firstly, a single storey rear extension to form a kitchen which would project 3.8 metres beyond the rear wall of the existing dwelling and which would have a pitched roof with a maximum height of 3.6 metres and an eaves height of 2.5 metres. Secondly, a single storey rear extension to form a utility room which would extend 3.0 metres beyond the rear wall of the existing garage, and which would have a flat roof.

The report concludes that the proposed extension would not have a detrimental impact on the character of the area or the residential amenity of neighbouring properties. The proposal is therefore in accordance with Wokingham Borough Council Core Strategy Policy CP3 and the Borough Design Guide. The application is before the committee as the owner of the property is employed by Wokingham Borough Council.

## PLANNING STATUS

- Major Development Location: Wokingham
- Thames basin Heath Special Protection Area 7km mitigation zone
- South East Water Supply Area
- Mineral Site Consultation Zone
- Heathrow Aerodrome safeguarding for wind turbine developments

## RECOMMENDATION

That planning permission be granted, subject to the following conditions:

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

*Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).*

## 2. Approved details

This permission is in respect of the submitted application plans and drawings numbered WBC/DC-01 & WBC/DC-02 received by the local planning authority on 24/03/2016. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

*Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.*

## 3. External materials

The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be of a similar appearance to those used in the existing building unless otherwise agreed in writing by the local planning authority.

*Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and CP3.*

## PLANNING HISTORY

Application 152547 for a single storey rear extension to No. 6 Derwent Close was granted approval on 19/11/2015, subject to conditions.

## SUMMARY INFORMATION

For Residential  
Site Area: 0.02 ha  
Existing bedrooms: 3  
Proposed bedrooms: No change  
Existing parking spaces: Garage plus driveway  
Proposed parking spaces: No change

## CONSULTATION RESPONSES

WBC Highways: No objection  
Parish/Town Council: No objection  
Local Members: No comments received  
Local Residents: No comments received

## REPRESENTATIONS

No representations received

## APPLICANTS POINTS

No applicants points received

## PLANNING POLICY

National Policy	<b>NPPF</b>	National Planning Policy Framework
Adopted Core Strategy DPD 2010	<b>CP1</b>	Sustainable Development
	<b>CP3</b>	General Principles for Development
	<b>CP7</b>	Biodiversity
Managing Development Delivery Local Plan	<b>CC01</b>	Presumption in Favour of Sustainable Development
	<b>CC02</b>	Development Limits
	<b>CC03</b>	Green Infrastructure Trees & Landscape
	<b>CC04</b>	Sustainable Design and Construction
	<b>CC07</b>	Parking
Supplementary Planning Documents (SPD)	<b>BDG</b>	Borough Design Guide SPD

## PLANNING ISSUES

### Principle of Development

1. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the Local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
2. The site is located within the Major Development Location of Wokingham, and as such the development should be acceptable providing that it complies with the principles stated in the Local Development Plan. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high quality design without detriment to the amenities of adjoining land uses and occupiers.
3. The application is before the committee as the applicant is employed by Wokingham Borough Council.

### Background

4. This application is essentially a resubmission of application 152547 for a single storey rear extension which was granted approval on 19/11/2015. In this first proposal, both elements of the rear extension extended 3 metres beyond the rear walls of the existing house and garage. This application was approved prior to the owner being employed by Wokingham Borough Council.
5. Following the granting of planning permission, a proposed two storey side extension and single storey rear extension at the adjoining dwelling at No. 5 Derwent Close (Application 160109) was granted approval on 11/03/2016. The approved single storey rear extension at No. 5 will extend 3.8 metres beyond the rear wall of the existing dwelling. The applicant at No. 6 now wishes to increase the depth of the principle element of the proposed rear extension to match that at the adjoining dwelling.

#### **Description of Development**

6. The proposal is for the erection of a single storey rear extension to the existing dwelling. The proposed extension consists of two elements- a pitched roof extension which would extend 3.8 metres beyond the rear wall of the existing dwelling with a maximum height of 3.6 metres and an eaves height of 2.5 metres, and a single storey flat roof extension which would extend 3 metres beyond the rear wall of the existing garage.
7. The proposed extension to the rear of the existing house is similar to that approved in application 152547 except that the depth of the proposed extension has been increased from 3 metres to 3.8 metres. The proposed extension to the rear of the existing garage would retain the 3 metre projection of the previous application, but would have a flat roof in place of the pitched roof design previously approved.

#### **Impact on the Character of the Area**

8. The application site is in a residential area in Wokingham consisting of informally arranged two storey dwellings. The proposed single storey rear extension would not be visible from Derwent Close and would not have any impact on the street scene. To the rear, the proposed extension would leave adequate amenity space remaining, and the scale of the proposal means that it would not have a detrimental impact on the character of the area to the rear of Derwent Close.
9. It is considered that the proposal, in terms of its design and appearance would not significantly impact upon the character or appearance of the host property or the local area and is therefore in accordance with Core Strategy Policy CP3 and the Borough Design Guide.

#### **Impact on Neighbours**

10. The proposed rear extension includes two elements. One element would be a single storey extension with a flat roof extending beyond the rear of the existing attached garage. This would be adjacent to the neighbouring house at No. 7 Derwent Close which is set further back on its plot in relation to No. 6. This element of the proposed rear extension would therefore not extend beyond the rear elevation of the neighbouring house at No. 7 and would not have any impact

in terms of overbearing, loss of light or overlooking.

11. The principal element of the proposed extension would extend 3.8 metres beyond the rear wall of the existing house. This element of the proposal would be adjacent to the boundary with No. 5 Derwent Close. The proposed flank wall alongside the boundary with No. 5 would have a pitched roof with an eaves height of 2.5 metres and a maximum height of 3.6 metres.

#### 12. Overlooking

The proposed extensions would not have any windows in the side elevations and would therefore not have any impact on the amenity of neighbouring dwellings in terms of overlooking.

#### 13. Overbearing and Loss of Light

The proposed rear extension to the existing dwelling would be separated from the adjoining dwelling at No. 7 by approximately 2.4 metres, which is considered sufficient separation distance to avoid any impact on residential amenity in terms of overbearing or loss of light. In terms of rearward projection, the proposed extension would be identical to that approved at No. 5 and would therefore not have any impact on the residential amenity of No. 5 in terms of overbearing or loss of light. In the event that the approved extension to No. 5 was not implemented, the proposed extension would still not have an unacceptable impact in terms of overbearing or loss of light, given the single storey scale and limited rearward projection of the proposal.

#### Highway & Parking

14. The proposal would increase the amount of habitable space available at the dwelling, but would not result in any extra bedrooms is considered unlikely to generate additional vehicle traffic. The existing parking provision meets the Borough's standards and the proposed extension is acceptable in parking terms.

#### Trees and Landscape

15. The proposed single storey rear extension would not affect trees or landscape.

### **CONCLUSION**

16. The proposed single storey rear extension would not have a harmful impact on the character of the area or the residential amenities of neighbouring properties and is in accordance with Wokingham Borough Council Core Strategy Policy CP3 and the Borough Design Guide. Therefore the application is recommended for approval.

### **CONTACT DETAILS**

<b>Service</b>	<b>Telephone</b>	<b>Email</b>
Development Management and Regulatory Services	0118 974 6428 / 6429	development.control@wokingham.gov.uk

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BLOCK/SITE PLAN  
 AREA 90m x 90m  
 SCALE: 1:500 on A4  
 CENTRE COORDINATES: 479434 , 168901



BLOCK PLAN (SCALE 1:500)



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 17:55:14 14/09/2015

LOCATION PLAN(SCALE 1:1250)

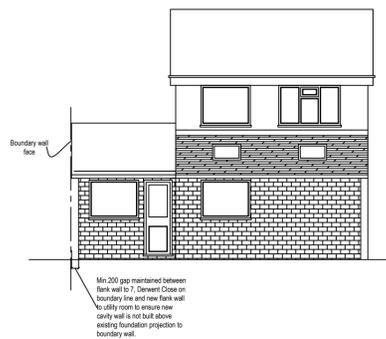
147

	PROJECT:	<b>6 Derwent Close                  WOKINGHAM</b>	DRAWN BY:	P.S.	DRAWING TITLE: LOCATION AND BLOCK PLAN	
	<b>PROPOSED SINGLE STOREY REAR EXTENSION</b>		DATE:	24/03/2016		
			SCALE:	AS SHOWN	DRAWING NUMBER: WBC/DC-01	
			FILENAME:	WBC/015/DC		

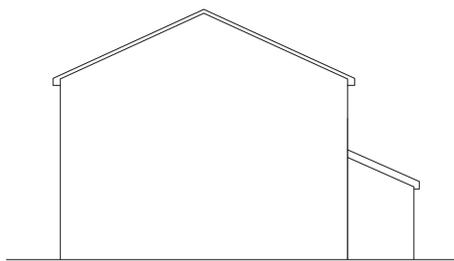
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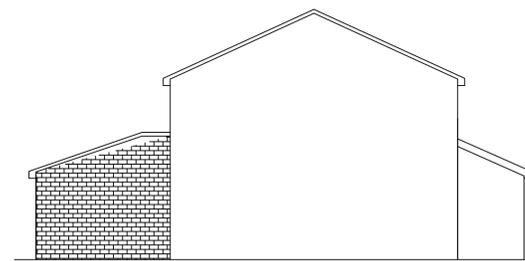
**Existing Rear Elevation**  
Scale 1:100



**Proposed Rear Elevation**  
Scale 1:100

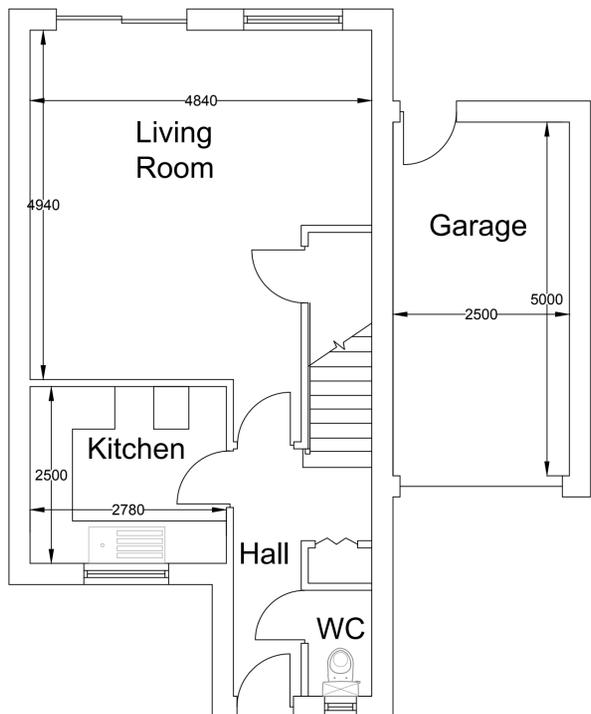


**Existing Side Elevation -1**  
Scale 1:100

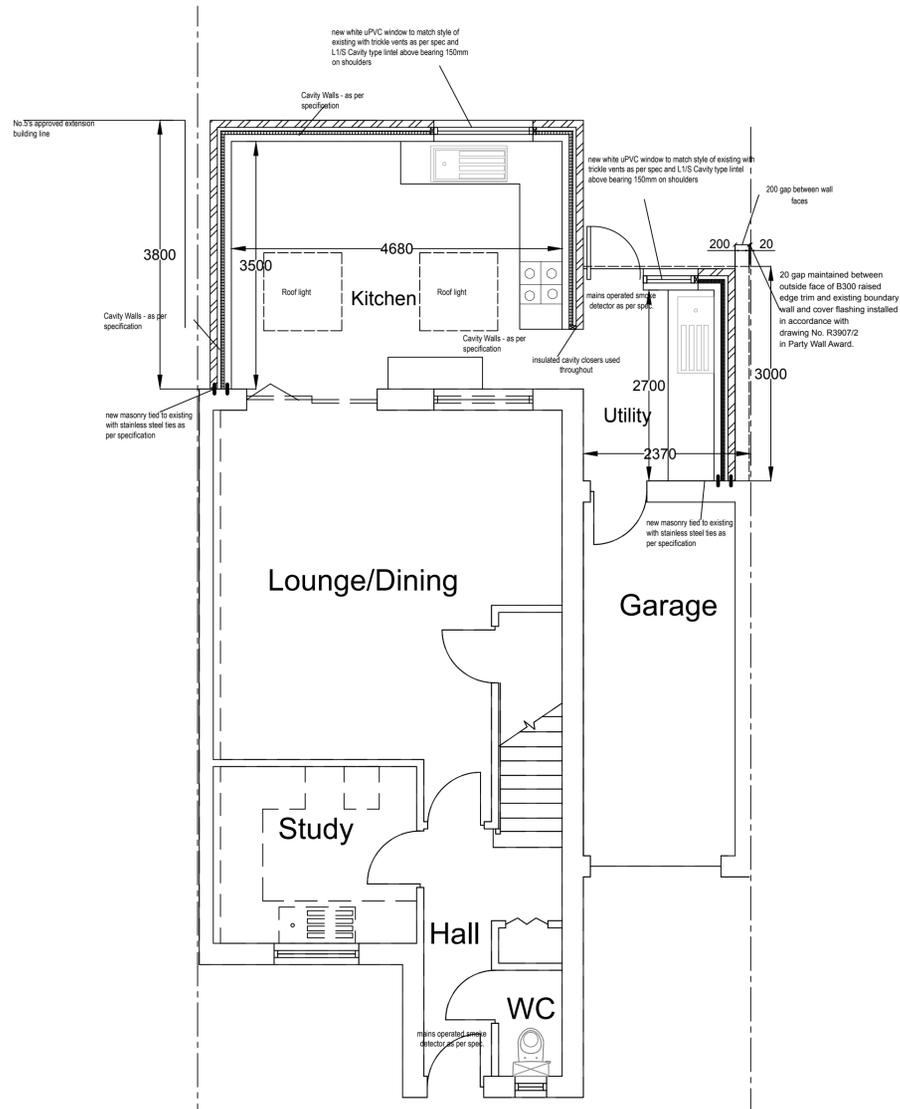


**Proposed Side Elevation -1**  
Scale 1:100

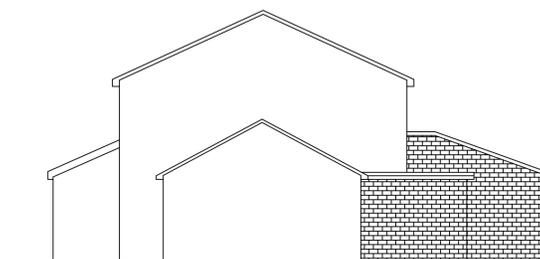
THERE IS NO CHANGE TO FRONT ELEVATION



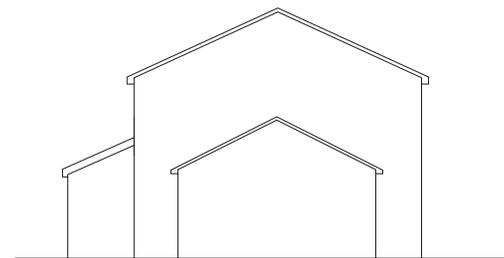
**Existing Ground Floor Plan**  
Scale 1:50



**Proposed Ground Floor Plan**  
Scale 1:50



**Proposed Side Elevation -2**  
Scale 1:100



**Existing Side Elevation -2**  
Scale 1:100

**NOTES:**

These drawings are for planning and building regulation application only and are not to be taken as working drawings and therefore their accuracy cannot be guaranteed for construction purposes and adjustments may be needed at site.

Contractors must check all information, dimensions and setting out prior to commencement of any building work and make any adjustments as necessary.

All dimensions are in millimeters and although drawings are to scale deformations do occur in the printing process and therefore scaling from drawings will be approximate and should only be scaled for planning purposes. No building works should commence until formal Local Authority & Structural Engineers approval have been obtained. All materials & workmanship must fully comply with all relevant current Design Standards and Code of Practice.

These drawings form part of a set and must be read as such and in accordance with all other drawings pertaining to the building works including all structural engineers details and drawings/details from specialist manufacturers or providers of services. This drawing and all in the set is issued mainly on the understanding that it is copyright and to be regarded as confidential and must not be reproduced.



SCALE 1:100@A1



Scale 1:50@A1

Revision:

Project:

**6 Derwent Close Wokingham**

Job:  
Proposed Single Storey Rear Extension

drawing title:  
All Existing, Proposed Floor Plans & Elevations

Date:  
24th MAR 2016

Scale:  
As shown

Drawing number:  
WBC/DC-02

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